



DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES

Planning Division

m e m o r a n d u m

TO: The Urbana Historic Preservation Commission

FROM: Rebecca Bird, Planner II

DATE: June 1, 2012

SUBJECT: HP-2012-COA-01: 104 N Central Avenue. Request for a Certificate of Appropriateness for proposed work on a local landmark, Architectural Expressions, applicant.

Introduction & Background

On May 11, 2012, Neil Strack of Architectural Expressions submitted a Certificate of Appropriateness (COA) application, on behalf of owner Norman Baxley, to reconstruct the front porch steps and railings on the front façade (west elevation) and to construct a new rear porch and basement entrance on the south elevation at 104 N Central Avenue, a local historic landmark. On October 3, 2011, the Urbana City Council designated 104 N Central Avenue a local historic landmark (Ordinance No. 2010-09-080). Section XII-6 of the Urbana Zoning Ordinance requires a COA for any alteration that affects the exterior architectural appearance of any locally-designated landmark. Table XII-1 specifies that new construction of “porches, decks, and attached steps” requires review by the Historic Preservation Commission (HPC). The HPC makes the final decision on the Certificate of Appropriateness, subject to any appeal.

Description of the Proposed Changes

Front Porch Steps & Railings

The first component of the application is to reconstruct the front porch steps and construct railings for the front porch and the front porch steps. The front porch currently has a set of concrete stairs going up to the front porch with a metal pipe hand railing on one side of the stairs. There is no hand railing on the south side of the porch or the south side of the stairs (see photo below). The existing concrete stairs are narrow and are not in keeping with the historic character of the house. The applicant is proposing to replace the existing stairs with wood stairs that would be the same width as the front porch. The existing front porch has a concrete floor on top of a concrete block foundation. The applicant is proposing to build a new floor over the top of the existing concrete floor. The proposal includes the addition of guard rails for the front porch and the front porch stairs.



Halberstadt House, Front Façade, Existing



Halberstadt House, Front Façade, Proposed

Rear Porch & Basement Entrance

The second component of the application is to construct a new rear porch/deck and an enclosed basement entrance on the south elevation. The house is being converted from a three-unit apartment into a two-unit duplex. One unit of the duplex will be on the first and second floors, and the second unit will be in the basement. The rear porch would serve as a back door and back deck for the unit on the first and second floors. The basement entrance would be the primary entrance for the basement unit. This corner of the house originally had a porch, which was enclosed many years ago and added to the living space of the house. There is currently an entry door at this location with a set of basic wood stairs leading up to it. (See photo below.) The applicant is proposing to replace the existing stairs and construct a new porch/deck and stairs. The porch/deck and stairs would have the same wood railings as the reconstructed front porch. The new structure would not have a roof, but would have a pergola over it instead. (See photo below.)

The existing entrance to the basement is a bulkhead door. The proposal includes constructing an enclosed entry, which would include a staircase down to the basement unit. The enclosed entrance would be sided with wood clapboards and includes one window on the street-facing side. The entrance would have a membrane or sheet metal roof with a pergola over it to match the pergola over the back porch/deck. Enclosing the entrance would require removal of an existing window above the bulkhead door. According to the applicant, the door and window on the basement entry would be “compatible to the historic perspective”. The applicant has suggested a wood-alternative decking for the porch floors, such as Trex, as such materials require less ongoing maintenance and generally are more durable when exposed to the weather.



Halberstadt House, South Elevation, Existing



Halberstadt House, South Elevation, Proposed



History and Architecture

Eli Halberstadt, a prominent grain miller and four-term mayor of Urbana, built the house at 104 N Central Avenue in 1875. Architecturally, the house is an example of the Italianate and Stick/Eastlake architectural styles. The house form is a one-and-one-half-story, asymmetrical cross-wing plan with a lower kitchen wing at the rear. The roof is a steep cross-gable. The front porch has an elaborate display of architectural details. The exterior window and door trim on the house show fine detail and craftsmanship, as do the unusual diamond-shaped windows. The exterior of the house appears to have changed little since construction. The Sanborn Fire Insurance Map of 1892 shows the footprint of the house to be identical to that of today, with the exception that what was originally a back porch on the southeast corner of the house has been enclosed.

Current Condition

The Eli Halberstadt House has not been significantly altered on the exterior and retains a high degree of integrity. The house is currently undergoing a significant rehabilitation project which will convert it from a three-unit apartment to a two-unit duplex. The project includes significant updating and improvements to the interior and exterior.

Discussion

Front Porch. The proposed work to the front porch includes building a new wood porch floor over the existing concrete floor, removing the existing concrete stairs and constructing new wood stairs, and installing wood guard rails and hand rails. The existing front porch floor and stairs are not original. It is likely that the original front porch and stairs were constructed from wood. As the existing porch floor and stairs are made of concrete, they are not compatible with the historic character of the building. The proposed guard and hand rails would include balusters with some architectural detailing inspired by the decorative work over the front porch. According to the National Park Service's *Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings: Entrances and Porches* (attached), duplicating architectural details from historic buildings can be inappropriate for new construction if it creates a false sense of time. Often, simple balustrades and other elements that reflect the materials and the proportions of the building and district are more appropriate. However, front porches are generally more decorative than porches on secondary facades. As these rails are for a front porch, the proposed decorative balusters would seem appropriate. The proposed wood baluster design was at its height when this house was constructed. This reflects the beginning of factory-produced wood architectural elements made possible by railroads. So, the particular balusters are very accurate for the time period generally and this architectural style(s) particularly.

Rear Porch/Deck. The proposed rear porch/deck includes constructing a deck with guard rails, an pergola over the deck, and access stairs with handrails. The applicant is proposing to use a wood-alternative decking for the floors and stairs. Wood-alternative decking requires less maintenance and generally lasts longer than wood when exposed to the elements. The guard and hand rails would be the same as the guard and hand rails used on the front. Generally, a back porch would not have the same level of architectural detailing as a front porch would have. As these rails are for a back porch/deck, a simple baluster may be more appropriate.

The applicant is proposing to use a pergola instead of a more traditional roof as there are already several roof lines that any new roof line would have to compete with—there is a very shallow shed roof on the formerly enclosed porch and steep gables over both wings of the house. There is also the added complication of a second-story dormer window above the existing shed roof that would prevent a roof over the deck from tying into the gable roof. The area for the deck is tucked into the southeast corner of the house, in line with the south face of the building, but extending out beyond the rear face.

Outdoor decks are contemporary exterior features frequently introduced in older residential neighborhoods. Essentially uncovered private versions of back porches, decks can be compared functionally with more traditional patios or terraces but are typically elevated. To maintain a building's historic character, deck additions are best located unobtrusively on rear elevations. Like any addition to a historic building, decks should be compatible with but differentiated from the building and constructed to be structurally independent so that they can be removed in the future without doing damage to the building. Generally, decks should not be so large that they overpower the building or the site. Bringing the deck back in line with the rear face of the building would help prevent the proposed deck from overpowering the house. The proposed deck would be located to the rear of the house, but would be very visible from Central Avenue and Main Street as the adjacent lot is a parking lot with an unobstructed view of the entire side of the house. Another way to prevent the deck structure from dominating the

house would be to remove the pergola over the deck. The pergola, however, can be considered an amenity to the future tenants.

The proposed enclosed basement entrance includes enclosing the area above the existing bulkhead door. It would be sided with wood clapboards to match existing clapboards on the house, and include one one-over-one double-hung window on the Central Avenue-facing side. The door would have a light or glass pane in the upper half and, according to the applicant, be compatible with the existing historic doors. There would also be an overhead light above the door, which is in keeping with the existing front door. Instead of a traditional gable or shed roof, the applicant is proposing using a membrane or sheet metal roof and then installing above that a pergola roof, as is being proposed for the rear porch/deck. Again here, to help prevent the deck and basement entry from dominating the house, it may be more appropriate not to include the pergola over the entrance.

Requirements for a Certificate of Appropriateness

According to Section XII-6.C of the Urbana Zoning Ordinance, the criteria to be used by the Preservation Commission in making its determination for a Certificate of Appropriateness are to:

1. Maintain the significant original qualities and character of the buildings, structures, sites or objects including, if significant, its appurtenances. Removing or altering any historic or distinctive architectural features should be avoided whenever possible.
2. Retain and preserve the historic character of a property. Avoid removing or substituting distinctive materials or altering features, spaces, and spatial relationships that characterize a property.
3. Recognize each property as a physical record of its time, place, and use. Do not undertake changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties.
4. Retain and preserve changes to a property that have acquired historic significance in their own right.
5. Preserve distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property.
6. *Deteriorated historic features.* Repair rather than replace deteriorated historic features. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features must be substantiated by documentary and physical evidence.
7. *Treatment methods.* Use the gentlest means possible when using chemical or physical treatments. Do not use treatments that cause damage to historic materials.
8. *Archaeology.* Protect and preserve archeological resources in place. If such resources must be disturbed, mitigation measures should be undertaken.
9. *New construction.* With new additions, exterior alterations, or related new construction, do not destroy historic materials, features, and spatial relationships that characterize the property. Undertake new additions and adjacent or related new construction in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. Differentiate new work from the old. To protect the integrity of the property and its environment, new additions and new construction shall be compatible with the original architecture of the landmark or styles within the historic district and in terms of the following guidelines:

- a) *Height*: The height of the proposed building or structure or additions or alterations should be compatible with surrounding buildings or structures.
- b) *Proportions of structure's front façade*: The proportion between the width and height of the proposed building or structure should be compatible with nearby buildings or structures.
- c) *Proportions of openings into the facility*: The proportions and relationships between doors and windows should be compatible with existing buildings and structures.
- d) *Relationship of building masses and spaces*: The relationship of a building or structure to the open space between it and adjoining buildings or structures should be compatible.
- e) *Roof shapes*: The design of the roof should be compatible with that of adjoining buildings and structures.
- f) *Appurtenances*: Use of appurtenances should be sensitive to the individual building or structure, its occupants and their needs.
- g) *Scale of building or structure*: The scale of the building or structure should be compatible with that of surrounding buildings or structures.
- h) *Directional expression of front elevation*: Street façades should blend in with other buildings and structures with regard to directional expression when adjacent buildings or structures have a dominant horizontal or vertical expression.

The proposed work would not destroy historic materials, features, or spatial relationships that characterize the property and thus complies with Criteria 1 through 8 of Section XII-6.C of the Urbana Zoning Ordinance. In terms of Criteria 9 (New Construction), the scale of the work on the front porch and front porch stairs is compatible with that of the house. The deck would not be structurally attached to the house, and so could be removed without damaging the historic building. The enclosed basement entrance would provide a safer more secure entrance to the second unit in the duplex, thereby helping to extend the usefulness of this historic building.

The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Exhibit D) recommend designing and installing features such as a deck on secondary elevations when they are required for a new use in a manner that preserves the historic character of the building by limiting such alteration to non-character-defining elevations. This project involves the rear elevation and would allow for a new use in a manner that preserves the historic character of the building.

The proposed new pergola over the deck and the basement entrance does meet the "differentiate the new work from the old" requirement, but on the other hand may or may not comply with the requirement that the new construction be "compatible with the architecture of the original landmark", specifically (e) *Roof Shapes*: The design of the roof should be compatible with that of adjoining buildings and structures.

Options

The Historic Preservation Commission has the following options in this case:

1. Grant the requested Certificate of Appropriateness.
2. Grant the requested Certificate of Appropriateness, subject to certain conditions.
3. Deny the requested Certificate of Appropriateness. If the Commission finds the application is inconsistent with the criteria and denies the application, the Commission should provide the reasons for denial and may recommend to the applicant ways to comply with the criteria.

Should the Historic Preservation Commission choose to deny this application, the petitioner would have three options: (1) in case of a denial accompanied by a recommendation, he may amend his application, (2) apply for a Certificate of Economic Hardship with evidence that denial of this application is financially infeasible, or (3) appeal to City Council within 15 days of the notice (Articles XII-6.D through XII-6.E of the Urbana Zoning Ordinance).

Staff Recommendation

Based on the findings outlined herein, and without the benefit of considering additional evidence that may be presented at the public hearing, City staff recommends that the Historic Preservation Commission **APPROVE** a Certificate of Appropriateness to allow the work described herein with the following conditions:

1. All work shall be constructed in general conformance to the site plan layout submitted as part of the application.
2. No windows or doors shall be removed other than the window above the existing bulkhead door.
3. The new exterior door to the basement entrance shall have a sash in the upper half and an overhead light above the door.
4. The new window in the enclosed basement entrance shall be a one-over-one double-hung window.
5. A wood-alternative product is permissible for the back porch/deck decking and the horizontal treads on both the rear and front stairs.
6. All wood shall be painted.
7. Consider bringing the area of the deck back in line with the rear face of the building.
8. Consider removing the pergola from the back deck and/or from the enclosed basement entrance.
9. Consider installing a shade feature in the garden instead of the pergola over the back deck.
10. Consider using simpler balusters for the back porch/deck and stairs.

Attachments:

Exhibit A: Location Map

Exhibit B: Application

Exhibit C: Photographs

Exhibit D: Secretary of the Interior's Standards for Rehabilitation and Guidelines for
Rehabilitating Historic Buildings

cc:

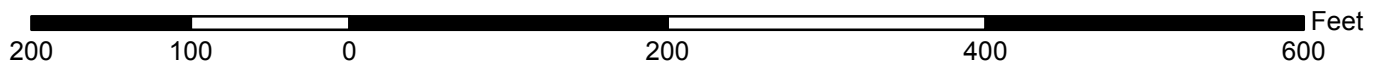
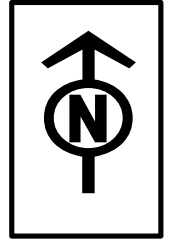
Neil Strack, nstrack@aexllp.com

Brian Kesler, bkesler@aexllp.com

Norman Baxley, normanbaxley@me.com

John Schneider, Building Safety Division Manager

Exhibit A: Location Map



Case: HP-2012-COA-01
Subject: Certificate of Appropriateness
for work on a local landmark
Location: 104 N Central Ave, Halberstadt House
Petitioner: Architectural Expressions, Norman Baxley

 Subject Property



Application for Certificate of Appropriateness

**Historic
Preservation
Commission**

APPLICATION AND REVIEW FEE – NO CHARGE

Although there is no fee to file an application for Certificate of Appropriateness, the Applicants are responsible for paying the cost of any legal publication fees. The fees usually run from \$75.00 to \$125.00. The applicant will be billed separately by the News-Gazette, if applicable.

DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Date Application Filed _____ Case No. _____

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION

1. APPLICANT CONTACT INFORMATION

Name of Applicant(s): **ARCHITECTURAL EXPRESSIONS** Phone: **217-378-5300**
Address (street/city/state/zip code): **116 N. Chestnut St, Ste #300, Champaign, IL. 61820**
Email Address: **nstrack@aexllp.com**
Property interest of Applicant(s) (Owner, Contract Buyer, etc.): **ARCHITECT**

2. OWNER INFORMATION

Name of Owner(s): **NORMAN BAXLEY** Phone:
Address (street/city/state/zip code): **110 W. MAIN ST. URBANA, , IL. 61801**
Email Address: **normanbaxley@me.com**

3. PROPERTY INFORMATION

Location of Subject Site: **104 NORTH CENTRAL AVENUE**
PIN # of Location:
Lot Size: _____
Current Zoning Designation: **R-5**
Current Land Use (vacant, residence, grocery, factory, etc): **RESIDENTIAL**
Legal Description: _____

4. CONSULTANT INFORMATION

Name of Architect(s): ARCHITECTURAL EXPRESSIONS Phone: 217-378-5300
Address (street/city/state/zip code): 116 N. CHESTNUT STC STE #300, CHAMPAIGN, IL. 61820
Email Address: NSTRACK@AEXLLP.COM

Name of Engineers(s): N/A Phone:
Address (street/city/state/zip code):
Email Address:

Name of Surveyor(s): N/A Phone:
Address (street/city/state/zip code):
Email Address:

Name of Professional Site Planner(s): N/A Phone:
Address (street/city/state/zip code):
Email Address:

Name of Attorney(s): N/A Phone:
Address (street/city/state/zip code):
Email Address:

Historic Designation (Check One) - [X] Landmark [] District

PROPOSED WORK FOR WHICH CERTIFICATE OF APPROPRIATENESS IS BEING REQUESTED

- 1. Describe and/or illustrate fully the proposed work to be done: (Plans associated with building permit applications can be referenced. If approval of an addition or detached accessory building is requested, submit a site plan showing the measurements of the lot, the existing buildings and proposed changes and the front, back and side yard setbacks. If approval of a demolition is being requested, submit a site plan of the property and the structure(s) to be demolished.)

ATTACHED ARE CONCEPT DRAWINGS THAT ILLUSTRATE THE RECONSTRUCTION OF THE FRONT PORCH,STEPS, AND RAILINGS (SW BLDG. CORNER) AND THE CONSTRUCTION OF A NEW REAR PORCH AND BASEMENT ENTRANCE AT THE SOUTHEAST CORNER OF THE BUILDING. THE DRAWINGS INCLUDE THREE DIMENSIONAL VIEWS OF THE IMPROVEMENTS AS WELL AS PARTIAL FLOOR PLANS OF THE AREAS INVOLVED.

Three horizontal lines for additional text or signature.

-
-
2. Describe how the proposed work will change, destroy, or affect any external feature of the structure or site:

BASED UPON HISTORICAL INFORMATION WE ARE ATTEMPTING TO INSTALL THE NEW FRONT PORCH AS CLOSE TO THE ORIGINAL DESIGN AND STYLE AS POSSIBLE.THE REAR PORCH BEING CONSTRUCTED IS NEW. THE EXISTING PORCH HAD BEEN ENCLOSED AND WILL CONTINUE TO BE USED AS INTERIOR SPACE. THE PORCH AREA ALSO PROVIDES A NEW ENCLOSED ENTRANCE TO THE BASEMENT. NO EXISTING EXTERNAL FEATURES ARE BEING CHANGEG OR DESTROYED. THE NEW WORK IS COMPATIBLE TO THE HISTORIC STRUCTURE AND FEATURES.

3. How will the proposed work affect the preservation, protection, perpetuation and economic use of the structure or district?

THE PROPOSESED WORK WILL BE COMPATBLE IN DESIGN , STYLE, AND QUALITY TO THE ORIGINAL STRUCTURE, BE A POSITUIVE IMPROVEMENT TO THE AREA, AND REINFORCE ECONOMIC DEVELOPMENT IN THIS AREA WITH HISTOICALLY SIGNFICANT STRUCTURE BEING OCCUPIED AND ECOMICALLY VIABLE.

4. Attach a statement indicating how the proposed work meets each applicable criterion provided in "EXHIBIT A", which is attached to this application form.

See attached "Exhibit A" with responses to each criterion.

5. State any additional information which you feel the Zoning Administrator or the Historic Preservation Commission should consider in issuing a Certificate of Appropriateness for the proposed work:

WE NEED TO REVIEW AND COORDINATE WITH THE CITY BUILDING SAFTY DEPARTMENT AN APPROPRIATE HEIGHT OF GUARD RAILS AND HANDRAILS AS WE COMPARE HISTRIC PROPORTIONS TO TODAYS BUILDING CODE REQUIREMENTS.

NOTE: If additional space is needed to accurately answer any question, please attach extra pages to the application.

By submitting this application, you are granting permission for City staff to post on the property a temporary yard sign announcing the public hearing to be held for your request.

CERTIFICATION BY THE APPLICANT

I certify all the information contained in this application form or any attachment(s), document(s) or plan(s) submitted herewith are true to the best of my knowledge and belief, and that I am either the property owner or authorized to make this application on the owner's behalf.

Applicant's Signature

5/19/12

Date

FOR OFFICE USE ONLY:

ZONING ADMINSTRATOR AND CHAIR REPORT

Minor Works Determination:

- The proposed work described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application constitute minor works as defined by the Zoning Ordinance.
- The proposed work described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application do **not** constitute minor works as defined in the Zoning Ordinance. This application for Certificate of Appropriateness is hereby forwarded to the Urbana Historic Preservation Commission for review and determination.

Zoning Administrator (or designee) _____ Date _____

DESIGN REVIEW DETERMINATION FOR MINOR WORKS:

- The minor works described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application conform to the review criteria established in the Zoning Ordinance in the manner described.

A certificate of Appropriateness is hereby issued for work described in this application only.

- The minor works described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application do not conform to the review criteria established in the Zoning Ordinance in the manner described.

A Certificate of Appropriateness is hereby denied. At the request of the applicant, this application may be forwarded to the Historic Preservation Commission for review and consideration.

Zoning Administrator (or designee) _____ Date _____

Commission Chair _____ Date _____

Exhibit "A"

(Please respond to the Criteria a through h, indicated by the underlined text)

Review Criteria for Certificate of Appropriateness.

In making a determination whether to issue or deny a Certificate of Appropriateness, if the proposed activities cannot be considered “minor works” as identified in Table XII-1 and Table XII-2, the Historic Preservation Commission shall consider, among other things, the effect of the proposed alteration, relocation, construction, removal or demolition upon the exterior architectural features and upon the historic value, characteristics and significance of the landmark or of the historic district.

The criteria to be used by the Preservation Commission in making its determination shall include, but not be limited to:

1. The maintenance of the significant original qualities or character of the buildings, structures, sites or objects including, if significant, its appurtenances. The removal or alteration of any historic or distinctive architectural features should be avoided whenever possible.
2. The compatibility of proposed new additions and new construction to the original architecture or the landmark or styles within the historic district shall be evaluated against the following general guidelines:
 - a. *Height:* The height of the proposed building or structure or additions or alterations should be compatible with surrounding buildings or structures.
 - b. *Proportions of structure's front façade:* The proportion between the width and height of the proposed building or structure should be compatible with nearby buildings or structures.
 - c. *Proportions of openings into the facility:* The proportions and relationships between doors and windows should be compatible with existing buildings and structures.
 - d. *Relationship of building masses and spaces:* The relationship of a building or structure to the open space between it and adjoining buildings or structures should be compatible.
 - e. *Roof shapes:* The design of the roof should be compatible with that of adjoining buildings and structures.
 - f. *Appurtenances:* Use of appurtenances should be sensitive to the individual building or structure, its occupants and their needs.
 - g. *Scale of building or structure:* The scale of the building or structure should be compatible with that of surrounding buildings or structures.
 - h. *Directional expression of front elevation:* Street façades should blend in with other buildings and structures with regard to directional expression when adjacent buildings or structures have a dominant horizontal or vertical expression.

Exhibit “A” Continued

(Please feel free to respond to the Criteria a through j, if they are applicable)

The Secretary of the Interior’s “Standards for Historic Preservation Projects”, as revised from time to time, as follows:

- a. Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building, structure, site or object and its environment.
- b. The distinguishing historic qualities or character of a building, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- c. All buildings, structures, sites and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- d. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- e. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, site or object shall be treated with sensitivity.
- f. Deteriorated architectural features shall be repaired rather than replaced, wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings, structures, sites or objects.
- g. The surface cleaning of buildings, structures, sites or objects shall be undertaken utilizing the gentlest means possible. Sandblasting and other cleaning methods that may damage the historic building materials shall not be undertaken.
- h. Every reasonable effort shall be made to protect and preserve archeological resources affected by or adjacent to any project.
- i. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
- j. Wherever possible, new additions or alterations to buildings or structures shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building or structure would remain unimpaired.

PLEASE RETURN THIS FORM ONCE COMPLETED TO:

City of Urbana
Community Development Department Services
Planning Division
400 South Vine Street, Urbana, IL 61801

Phone: (217) 384-2440
Fax: (217) 384-2367

Exhibit "A"

(Please respond to the Criteria a through h, indicated by the underlined text) **RESPONSE: 5/10/12**

Review Criteria for Certificate of Appropriateness.

In making a determination whether to issue or deny a Certificate of Appropriateness, if the proposed activities cannot be considered "minor works" as identified in Table XII-1 and Table XII-2, the Preservation Commission shall consider, among other things, the effect of the proposed alteration, relocation, construction, removal or demolition upon the exterior architectural features and upon the historic value, characteristics and significance of the landmark or of the historic district.

The criteria to be used by the Preservation Commission in making its determination shall include, but not be limited to:

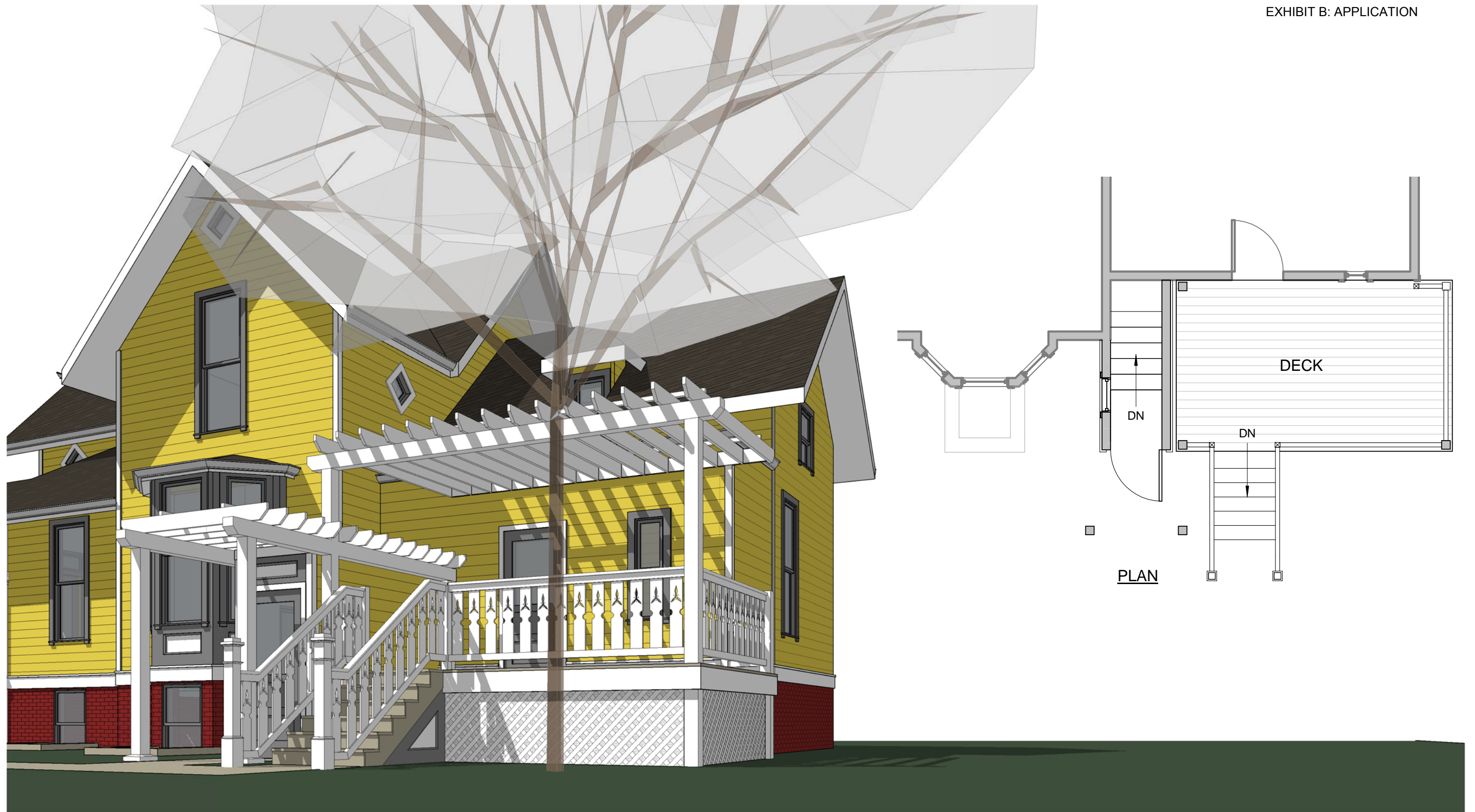
1. The maintenance of the significant original qualities or character of the buildings, structures, sites or objects including, if significant, its appurtenances. The removal or alteration of any historic or distinctive architectural features should be avoided whenever possible.
2. The compatibility of proposed new additions and new construction to the original architecture or the landmark or styles within the historic district shall be evaluated against the following general guidelines:
 - a. Height: The height of the proposed building or structure or additions or alterations should be compatible with surrounding buildings or structures
RESPONSE: The alterations are proportion to the historic residence and is compatible to buildings and structures in the surrounding area.
 - b. Proportions of structure's front façade: The proportion between the width and height of the proposed building or structure should be compatible with nearby buildings or structures.
RESPONSE: The proportions of the structure will not changed with the proposed alterations.
 - c. Proportions of openings into the facility: The proportions and relationships between doors and windows should be compatible with existing buildings and structures.
RESPONSE: Doors and window sbeing added at the basement entrance will be compatible with the scale and style of the historic residence
 - d. Relationship of building masses and spaces: The relationship of a building or structure to the open space between it and adjoining buildings or structures should be compatible.
RESPONSE: The completed porch structures establish a better transition and relationship between adjacent properties, open space, and the historic residence.
 - e. Roof shapes: The design of the roof should be compatible with that of adjoining buildings and structures.
RESPONSE; The roof structure above the basement entrance is flat, low , and understated as not to compete with the gabled roof forms of the historic residence.
 - f. Appurtenances: Use of appurtenances should be sensitive to the individual building or structure, its occupants and their needs.
RESPONSE; Appurtenances will be in the style and design of the historic residence and historic period.
 - g. Scale of building or structure: The scale of the building or structure should be compatible with that of surrounding buildings or structures.
RESPONSE: The scale of the building will not change.
 - h. Directional expression of front elevation: Street façades should blend in with other buildings and structures with regard to directional expression when adjacent buildings or structures have a dominant horizontal or vertical express
RESPONSE: No changes are being made to the front façade except to reconstruct porch and railing as close to original, period design, and style as possible.

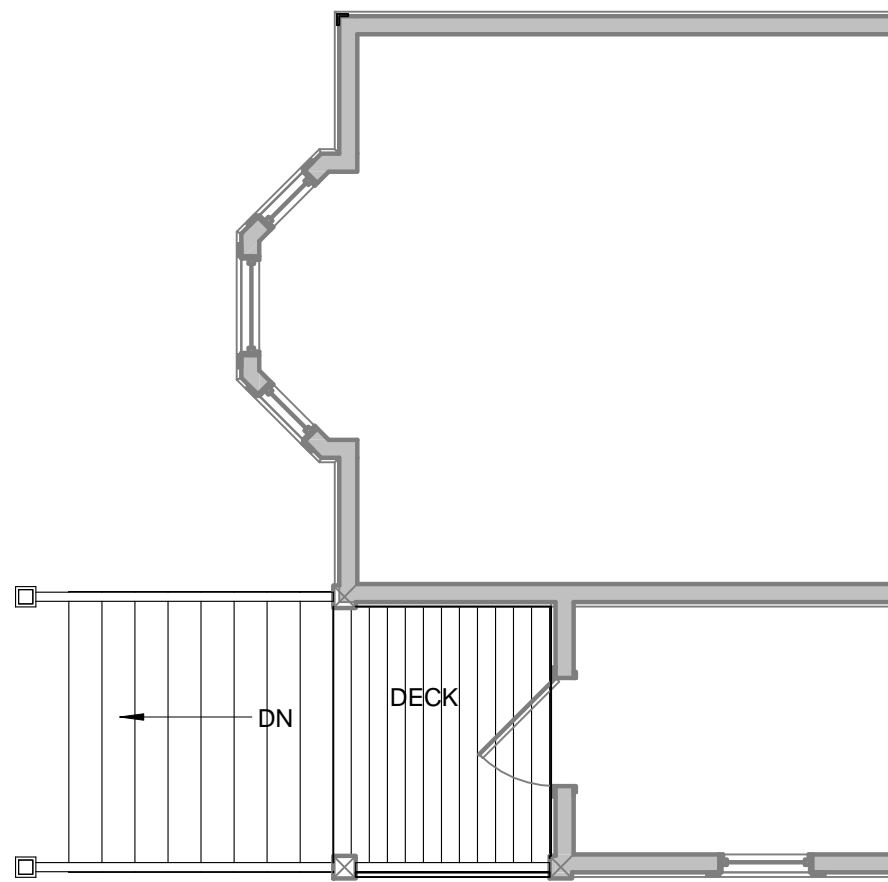
Exhibit "A(Please feel free to respond to the Criteria a through j, if they are applicable) RESPONSES: 5/10/12

The Secretary of the Interior's "Standards for Historic Preservation Projects", as revised from time to time, as follows:

- a. Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building, structure, site or object and its environment.
RESPONSE: The new construction requires minimal alteration to the exterior of the building.
- b. The distinguishing historic qualities or character of a building, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
RESPONSE: No existing historic elements to the historic residence are being changed.
- c. All buildings, structures, sites and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- d. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
RESPONSE: An existing back porch at some time since the residence was constructed has been enclosed and will remain enclosed with a new porch and stairs added.
- e. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, site or object shall be treated with sensitivity.
RESPONSE: We will incorporate such stylist fixture as part of the renovation.
- f. Deteriorated architectural features shall be repaired rather than replaced, wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings, structures, sites or objects.
RESPONSE: We are trying to find the most accurate historic information as to the exterior details. Unfortunately, we have found minimal historic photos of the complete exterior.
- g. The surface cleaning of buildings, structures, sites or objects shall be undertaken utilizing the gentlest means possible. Sandblasting and other cleaning methods that may damage the historic building materials shall not be undertaken.
- h. Every reasonable effort shall be made to protect and preserve archeological resources affected by or adjacent to any project.
- i. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
RESPONSE: We believe the south porch and basement entrance is a contemporary response and is compatible with the historic residence.
- j. Wherever possible, new additions or alterations to buildings or structures shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building or structure would remain unimpaired.
RESPONSE: We believe this goal has been met.







PLAN

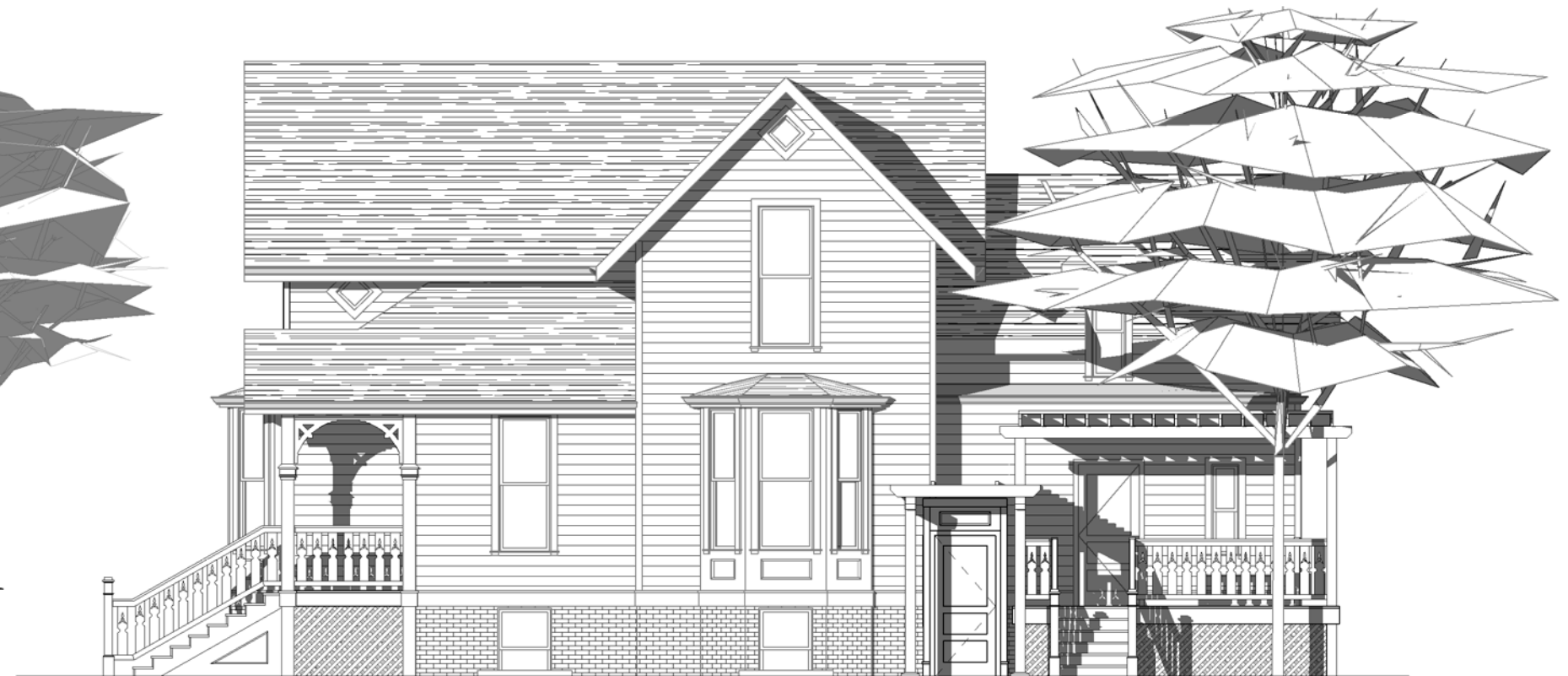




WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

EXHIBIT C: PHOTOGRAPHS

Halberstadt House, Front Façade



Close Up of Front Porch



Decorative Detailing on Front Porch



EXHIBIT C: PHOTOGRAPHS

Halberstadt House, Southeast Corner of Building



Close Up of Area for Proposed Deck





EXTERIOR FEATURES

entrances + porches



HISTORICAL OVERVIEW

[Identify](#) [Protect](#) [Repair](#) [Replace](#) [Missing feature](#) [Alterations/Additions](#)

Identify, Retain and Preserve

RECOMMENDED

Identifying, retaining, and preserving entrances and porches--and their functional and decorative features--that are important in defining the overall historic character of the building such as doors, fanlights, sidelights, pilaster, entablatures, columns, balustrades, and stairs.



Entrances and porches are quite often the focus of historic buildings, particularly on primary elevations, such as this dramatic brick archway on an early 20th century building. Photo: NPS files.

NOT RECOMMENDED

Removing or radically changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Stripping entrances and porches of historic material such as wood, cast iron, terra cotta tile, and brick.

Removing an entrance or porch because the building has been re-oriented to accommodate a new use.

Cutting new entrances on a primary elevation. Altering utilitarian or service entrances so they appear to be formal entrances by adding panelled doors, fanlights, and sidelights.

Altering utilitarian or service entrances so they appear to be formal entrances by adding panelled doors, fanlights, and sidelights.

[top](#)

Protect and Maintain

RECOMMENDED

Protecting and maintaining the masonry, wood, and architectural metals that comprise entrances and porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

NOT RECOMMENDED

NATIONAL PARK SERVICE



-GUIDELINES-

[The Approach](#)

Exterior Materials

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Exterior Features

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Site

Setting

Special Requirements

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THE STANDARDS

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of entrances and porches results.

Failing to undertake adequate measures to assure the protection of historic entrances and porches.

[top](#)

Repair

RECOMMENDED

Repairing entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind--or with compatible substitute material--of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, cornices, entablatures, columns, sidelights, and stairs.



In Rehabilitation, deteriorated features should be repaired, whenever possible, and replaced when the severity of the damage makes it necessary. Here, a two-story porch is seen prior to treatment (before). The floor boards are rotted out and the columns are structurally unsound. Other components are in varying stages of decay. Appropriate work on the historic porch (after) included repairs to the porch rails; and total replacement of the extensively deteriorated columns and floor boards. Some dismantling of the porch was necessary. Photos: NPS files.

NOT RECOMMENDED

Replacing an entire entrance or porch when the repair of materials and limited replacement of parts are appropriate.

Using a substitute material for the replacement parts that does not convey the visual appearance of the surviving parts of the entrance and porch or that is physically or chemically incompatible.

[top](#)

Replace

RECOMMENDED

Replacing in kind an entire entrance or porch that is too deteriorated to repair--if the form and detailing are still evident--using the physical evidence as a model to reproduce the feature. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

NOT RECOMMENDED

Removing an entrance or porch that is unrepairable and not replacing it; or replacing it with a new entrance or porch that does not convey the same visual appearance.

top

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for the Replacement of Missing Historic Features

RECOMMENDED

Designing and constructing a new entrance or porch when the historic entrance or porch is completely missing. It may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character building.

NOT RECOMMENDED

Creating a false historical appearance because the replaced entrance or porch is based on insufficient historical, pictorial, and physical documentation.

Introducing a new entrance or porch that is incompatible in size, scale, material, and color.

top

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Alterations/Additions for the New Use

RECOMMENDED

Designing enclosures for historic porches on secondary elevations when required by the new use in a manner that preserves the historic character of the building. This can include using large sheets of glass and recessing the enclosure wall behind existing scrollwork, posts, and balustrades.

Designing and installing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the buildings, i.e., limiting such alteration to non-character-defining elevations.

NOT RECOMMENDED

Enclosing porches in a manner that results in a diminution or loss of historic character by using materials such as wood, stucco, or masonry.



As part of a rehabilitation project, a late-

EXHIBIT D



19th century produce distribution center (top left) with a utilitarian loading dock (top right) was removed and replaced with a monumental entrance featuring massive formal columns (left). The new addition is incompatible with the simple, industrial character of the building. Photos: NPS files.

Installing secondary service entrances and porches that are incompatible in size and scale with the historic building or obscure, damage, or destroy character-defining features.

[HISTORICAL OVERVIEW](#) - [PRESERVING](#) - [rehabilitating](#) - [RESTORING](#) - [RECONSTRUCTING](#)

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