



DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES

Planning Division

m e m o r a n d u m

TO: The Urbana Historic Preservation Commission

FROM: Rebecca Bird, Planner I

DATE: June 30, 2011

SUBJECT: HP-2011-COA-03: 701 S Busey Avenue. Request for a Certificate of Appropriateness to construct a back deck, Paul Young, applicant.

Introduction & Background

On June 10, 2011, Paul Young submitted a Certificate of Appropriateness (COA) application to construct a deck with railings and a partial fence at the rear of the house at 701 S Busey Avenue. The property is historically known as the Ella Danely Cottage and is now part of the Joseph Royer Historic District. On November 9, 2001, the Urbana City Council designated 801 W Oregon Street and 701 S Busey Avenue a local historic district, Ordinance No. 2001-11-141. Section XII-6 of the Urbana Zoning Ordinance requires a COA for any alteration that affects the exterior architectural appearance of any locally-designated landmark or building in a locally-designated historic district. Table XII-1 specifies that new construction of “porches, decks, and attached steps” requires review by the Historic Preservation Commission (HPC). The HPC makes the final decision on the Certificate of Appropriateness, subject to any appeal.

Description of the Proposed Changes

The application is to construct a deck at the rear of the house. The deck would have two sections, one would be 10.5 feet across by 13.4 feet deep, and the other would be 12 feet across by 26 feet deep. The smaller section would be located at ground level and would be adjacent to the rear of the house. The larger section would be raised 2.6 feet above ground level and would be adjacent to the rear of the driveway. (See site plan in Exhibit B.) The raised deck would have a cedar railing around most of it, with a privacy fence proposed around the portion most visible from the street and the adjacent property to the north. (See application in Exhibit B for photographic examples of the proposed railing and fence.)

History and Architecture

The Joseph Royer Historic District is comprised of two buildings: the Joseph Royer House and the Ella Danely Cottage. The Joseph Royer House was designed and built in 1905 by the noted Urbana architect, Joseph William Royer as his personal residence. In 1923, Royer designed and built the smaller cottage at the south end of his property for his mother-in-law, Ella Danely. The large main house is a good

example of the Mission Style with Arts and Crafts influence, while the cottage is a picturesque rendition of the English Revival architectural style.

Current Condition

The Ella Danely Cottage has not been significantly altered and retains a high degree of integrity. The proposed deck would be located at the rear of the house, adjacent to a 1967 addition.

Discussion

The outdoor deck is a contemporary exterior feature frequently introduced in older residential neighborhoods. Essentially an uncovered private version of a back porch, the deck can be compared functionally with a more traditional patio or terrace but are typically elevated. To maintain a building's historic character, deck additions are best located unobtrusively on the rear elevation. Like any addition to a historic building, a deck should be compatible with but differentiated from the building and constructed to be structurally independent so that it can be removed in the future without doing damage to the building. A deck should not be so large that it overpowers the building or the site.

The proposed deck would be located at the rear of the house, adjacent to a non-character defining addition built in 1967. As the deck would be located at the rear, the significant original qualities and character of the cottage would be maintained. No historic or distinctive architectural features or materials would be removed or altered as part of this project. As decks are contemporary features, it would not create a false sense of historical time.

To relate the deck to the historic cottage, the structural framing should be screened with traditional materials such as skirtboards, lattice, masonry panels, or dense evergreen plantings. Because decks are contemporary features, detailing them to duplicate the architectural detailing of historic buildings is usually inappropriate. Instead, simple balustrades and other elements that reflect the materials and the proportions of the building and district are appropriate.

Requirements for a Certificate of Appropriateness

According to Section XII-6.C of the Urbana Zoning Ordinance, the applicable criteria to be used by the Preservation Commission in making its determination for a Certificate of Appropriateness shall include:

9. *New construction. With new additions, exterior alterations, or related new construction, do not destroy historic materials, features, and spatial relationships that characterize the property. Undertake new additions and adjacent or related new construction in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. Differentiate new work from the old. To protect the integrity of the property and its environment, new additions and new construction shall be compatible with the original architecture of the landmark or styles within the historic district and in terms of the following guidelines:*
 - a) *Height.* The height of the proposed building or structure or additions or alterations should be compatible with surrounding buildings or structures.
 - b) *Proportions of structure's front façade:* The proportion between the width and height of the proposed building or structure should be compatible with nearby buildings or structures.

- c) *Proportions of openings into the facility:* The proportions and relationships between doors and windows should be compatible with existing buildings and structures.
- d) *Relationship of building masses and spaces:* The relationship of a building or structure to the open space between it and adjoining buildings or structures should be compatible.
- e) *Roof shapes:* The design of the roof should be compatible with that of adjoining buildings and structures.
- f) *Appurtenances:* Use of appurtenances should be sensitive to the individual building or structure, its occupants and their needs.
- g) *Scale of building or structure:* The scale of the building or structure should be compatible with that of surrounding buildings or structures.
- h) *Directional expression of front elevation:* Street façades should blend in with other buildings and structures with regard to directional expression when adjacent buildings or structures have a dominant horizontal or vertical expression.

The proposed deck addition would not destroy historic materials, features, or spatial relationships that characterize the property. The deck would not be structurally attached to the house, and so could be removed without damaging the historic building. One portion of the deck would be at ground level, with a second portion raised several feet. The scale of the deck is compatible with that of the cottage, in particular as the mass of the proposed deck is broken up by having two sections at different levels.

The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Exhibit D) recommend designing and installing features such as a deck on secondary elevations when they are required for a new use in a manner that preserves the historic character of the building by limiting such alteration to non-character-defining elevations. The property is currently used as a rental property. The owner is proposing this work to give the property modern features he believes necessary as he intends to occupy the house in several years. As this project involves the rear elevation and would allow for a new use in a manner that preserves the historic character of the building, it meets the Secretary of the Interior's Standards.

Options

The Historic Preservation Commission has the following options in this case:

1. Grant the requested Certificate of Appropriateness.
2. Grant the requested Certificate of Appropriateness, subject to certain conditions.
3. Deny the requested Certificate of Appropriateness. If the Commission finds the application is inconsistent with the criteria and denies the application, the Commission should provide the reasons for denial and may recommend to the applicant ways to comply with the criteria.

Should the Historic Preservation Commission choose to deny this application, the petitioner would have three options: (1) in case of a denial accompanied by a recommendation, he may amend his application,

(2) apply for a Certificate of Economic Hardship with evidence that denial of this application is financially infeasible, or (3) appeal to City Council within 15 days of the notice (Articles XII-6.D through XII-6.E of the Urbana Zoning Ordinance).

Staff Recommendation

Based on the findings outlined herein, and without the benefit of considering additional evidence that may be presented at the public hearing, City staff recommends that the Historic Preservation Commission **APPROVE** a Certificate of Appropriateness to allow construction of the deck with railings and a fence with the following conditions:

1. The deck shall be constructed in general conformance to the site plan layout submitted as part of the application.
2. The structural framing of the deck be screened with an appropriate traditional material such as skirtboards, lattice, masonry panels, or dense evergreen plantings.

Attachments:

Exhibit A: Location Map

Exhibit B: Application

Exhibit C: Photographs

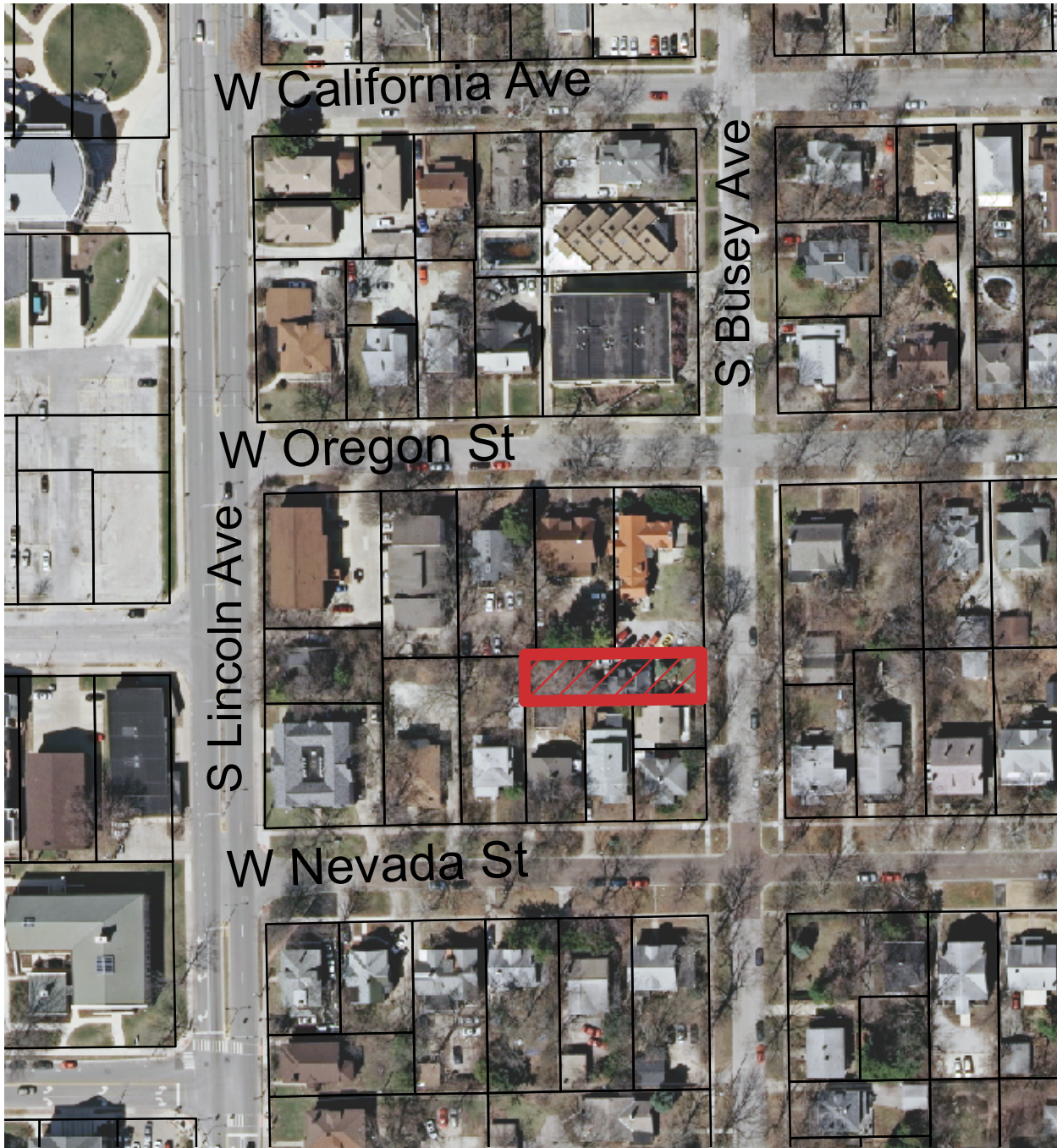
Exhibit D: Secretary of the Interior's Standards for Rehabilitation and Guidelines for
Rehabilitating Historic Buildings

cc:

Paul Young, paul@electric-pictures.com

John Schneider, Building Safety Division Manager

Exhibit A: Location Map & Aerial



Case: HP-2011-COA-03
Subject: A Certificate of Appropriateness application to construct a deck
Location: 701 S Busey Avenue
Petitioner: Paul Young

 Subject Property



Application for Certificate of Appropriateness

**Historic
Preservation
Commission**

APPLICATION AND REVIEW FEE – NO CHARGE

Although there is no fee to file an application for Certificate of Appropriateness, the Applicants are responsible for paying the cost of any legal publication fees. The fees usually run from \$75.00 to \$125.00. The applicant will be billed separately by the News-Gazette, if applicable.

DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Date Application Filed _____ Case No. _____

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION

1. APPLICANT CONTACT INFORMATION

Name of Applicant(s): **PAUL YOUNG** Phone: **217-398-1923**
Address (*street/city/state/zip code*): **504 W JOHN STREET**
Email Address: **PAUL@ELECTRIC-PICTURES.COM**
Property interest of Applicant(s) (*Owner, Contract Buyer, etc.*): **OWNER**

2. OWNER INFORMATION

Name of Owner(s): **PAUL YOUNG** Phone: **217-398-1923**
Address (*street/city/state/zip code*): **504 W JOHN STREET**
Email Address: **PAUL@ELECTRIC-PICTURES.COM**

3. PROPERTY INFORMATION

Location of Subject Site: **701 S BUSEY AVE**
PIN # of Location: **92-21-17-153-006**
Lot Size: **40 X 150.5 FT**
Current Zoning Designation: **R-2**
Current Land Use (*vacant, residence, grocery, factory, etc.*): **RESIDENCE**
Legal Description: **N 40' LOTS 35 AND 36 AND N 40' OF # 10' LOT 34 HUBBARD'S
ELMWOOD**

4. CONSULTANT INFORMATION

Name of Architect(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Name of Engineers(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Name of Surveyor(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Name of Professional Site Planner(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Name of Attorney(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Historic Designation (*Check One*) - Landmark District

PROPOSED WORK FOR WHICH CERTIFICATE OF APPROPRIATENESS IS BEING REQUESTED

1. Describe and/or illustrate fully the proposed work to be done: (*Plans associated with building permit applications can be referenced. If approval of an addition or detached accessory building is requested, submit a site plan showing the measurements of the lot, the existing buildings and proposed changes and the front, back and side yard setbacks. If approval of a demolition is being requested, submit a site plan of the property and the structure(s) to be demolished.*)

WE PROPOSE TO ADD A TWO-LEVEL DECK TO THE BACK OF THE HOUSE. THE DECK WILL BE CONSTRUCTED WITH PRESSURE-TREATED WOOD, THEN STAINED. RAILINGS AND A SMALL L-SHAPED FENCE MADE OF CEDAR WILL BE ADDED TO THE DECK. PLEASE SEE ATTACHED PLANS FOR DIMENSIONS.

-
-
2. Describe how the proposed work will change, destroy, or affect any external feature of the structure or site:

THE PROPOSED WORK WILL NOT CHANGE OR DESTROY ANY EXISTING STRUCTURES. THE PROPOSED FENCE WILL HIDE A SMALL PORTION OF THE EXISTING BACK ADDITION TO THE HOUSE. THE BACK ADDITION WAS NOT PART OF THE ORIGINAL STRUCTURE AS DESIGNED BY JOSEPH ROYER.

3. How will the proposed work affect the preservation, protection, perpetuation and economic use of the structure or district?

PROPOSED WORK WILL NOT AFFECT THE PRESERVATION OR PROTECTION OF THE PROPERTY. INSTEAD, THE PROPOSED WORK WILL ADD USABILITY TO THE HOUSE AS A RESIDENTIAL PROPERTY. IN ADDITION, THE VALUE OF THE PROPERTY WILL ALSO INCREASE, THEREFORE INCREASING THE ECONOMIC VALUE OF THE PROPERTY.

4. Attach a statement indicating how the proposed work meets each applicable criterion provided in “EXHIBIT A”, which is attached to this application form.

(SEE ATTACHED)

5. State any additional information which you feel the Zoning Administrator or the Historic Preservation Commission should consider in issuing a Certificate of Appropriateness for the proposed work:

CURRENTLY, THE PROPERTY IS BEING RENTED TO TENANTS. WE WOULD LIKE TO OCCUPY THE PROPERTY AS OWNERS. BUT IN ORDER TO DO SO WILL REQUIRE SEVERAL MAJOR RENOVATION PROJECTS IN ORDER FOR THE PROPERTY TO MEET OUR STANDARDS. MOST OF THE RENOVATION WILL TAKE PLACE INSIDE THE HOUSE. THE BACK DECK IS AN EXCEPTION. BY EXPANDING THE USABILITY OF THE HOUSE, WE HOPE TO BE ABLE TO MOVE IN AS OWNERS WITHIN 3 TO 5 YEARS.

NOTE: If additional space is needed to accurately answer any question, please attach extra pages to the application.

By submitting this application, you are granting permission for City staff to post on the property a temporary yard sign announcing the public hearing to be held for your request.

CERTIFICATION BY THE APPLICANT

I certify all the information contained in this application form or any attachment(s), document(s) or plan(s) submitted herewith are true to the best of my knowledge and belief, and that I am either the property owner or authorized to make this application on the owner's behalf.

Applicant's Signature

Date

FOR OFFICE USE ONLY:

ZONING ADMINSTRATOR AND CHAIR REPORT

Minor Works Determination:

- The proposed work described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application constitute minor works as defined by the Zoning Ordinance.

- The proposed work described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application do **not** constitute minor works as defined in the Zoning Ordinance. This application for Certificate of Appropriateness is hereby forwarded to the Urbana Historic Preservation Commission for review and determination.

Zoning Administrator (or designee) _____ Date _____

DESIGN REVIEW DETERMINATION FOR MINOR WORKS:

- The minor works described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application conform to the review criteria established in the Zoning Ordinance in the manner described.

A certificate of Appropriateness is hereby issued for work described in this application only.

- The minor works described in Section 3 of this application, and/or illustrated in drawings or plans attached as part of this application do not conform to the review criteria established in the Zoning Ordinance in the manner described.

A Certificate of Appropriateness is hereby denied. At the request of the applicant, this application may be forwarded to the Historic Preservation Commission for review and consideration.

Zoning Administrator (or designee) _____ Date _____

Commission Chair _____ Date _____

Exhibit "A"

(Please respond to the Criteria a through h, indicated by the underlined text)

Review Criteria for Certificate of Appropriateness.

In making a determination whether to issue or deny a Certificate of Appropriateness, if the proposed activities cannot be considered "minor works" as identified in Table XII-1 and Table XII-2, the Historic Preservation Commission shall consider, among other things, the effect of the proposed alteration, relocation, construction,

removal or demolition upon the exterior architectural features and upon the historic value, characteristics and significance of the landmark or of the historic district.

The criteria to be used by the Preservation Commission in making its determination shall include, but not be limited to:

1. The maintenance of the significant original qualities or character of the buildings, structures, sites or objects including, if significant, its appurtenances. The removal or alteration of any historic or distinctive architectural features should be avoided whenever possible.
2. The compatibility of proposed new additions and new construction to the original architecture or the landmark or styles within the historic district shall be evaluated against the following general guidelines:
 - a. *Height*: The height of the proposed building or structure or additions or alterations should be compatible with surrounding buildings or structures.
 - b. *Proportions of structure's front façade*: The proportion between the width and height of the proposed building or structure should be compatible with nearby buildings or structures.
 - c. *Proportions of openings into the facility*: The proportions and relationships between doors and windows should be compatible with existing buildings and structures.
 - d. *Relationship of building masses and spaces*: The relationship of a building or structure to the open space between it and adjoining buildings or structures should be compatible.
 - e. *Roof shapes*: The design of the roof should be compatible with that of adjoining buildings and structures.
 - f. *Appurtenances*: Use of appurtenances should be sensitive to the individual building or structure, its occupants and their needs.
 - g. *Scale of building or structure*: The scale of the building or structure should be compatible with that of surrounding buildings or structures.
 - h. *Directional expression of front elevation*: Street façades should blend in with other buildings and structures with regard to directional expression when adjacent buildings or structures have a dominant horizontal or vertical expression.

Exhibit "A" Continued

(Please feel free to respond to the Criteria a through j, if they are applicable)

The Secretary of the Interior's "Standards for Historic Preservation Projects", as revised from time to time, as follows:

- a. Every reasonable effort shall be made to use a property for its originally intended purpose, or to provide a compatible use for a property that requires minimal alteration of the building, structure, site or object and its environment.
- b. The distinguishing historic qualities or character of a building, structure, site or object and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- c. All buildings, structures, sites and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- d. Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, site or object and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
- e. Distinctive stylistic features or examples of skilled craftsmanship that characterize a building, structure, site or object shall be treated with sensitivity.
- f. Deteriorated architectural features shall be repaired rather than replaced, wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings, structures, sites or objects.
- g. The surface cleaning of buildings, structures, sites or objects shall be undertaken utilizing the gentlest means possible. Sandblasting and other cleaning methods that may damage the historic building materials shall not be undertaken.
- h. Every reasonable effort shall be made to protect and preserve archeological resources affected by or adjacent to any project.
- i. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
- j. Wherever possible, new additions or alterations to buildings or structures shall be done in such manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building or structure would remain unimpaired.

PLEASE RETURN THIS FORM ONCE COMPLETED TO:

City of Urbana
Community Development Department Services
Planning Division
400 South Vine Street, Urbana, IL 61801
Phone: (217) 384-2440

Exhibit "A"

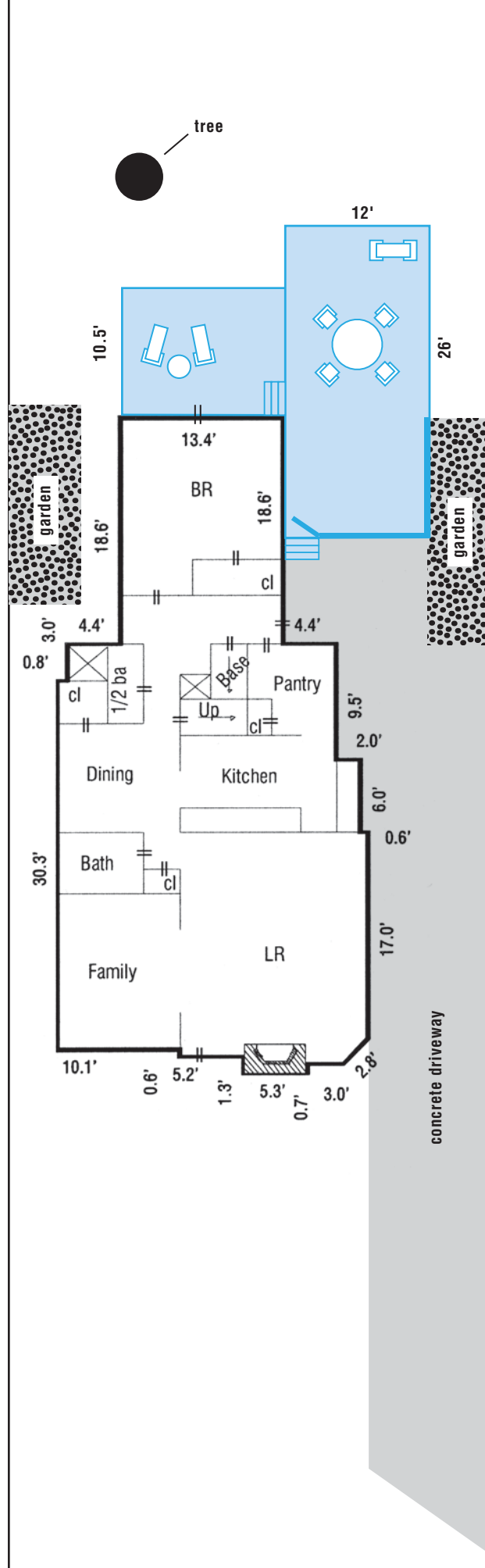
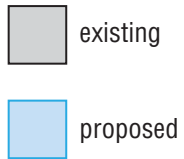
Below is our response to how the proposed addition of a back deck will affect the value, characteristics and significance of the historic structure at 701 S Busey Ave in Urbana IL.

1. Our proposal will not alter the original qualities or character of the building and its appurtenances.
2. Our proposal adheres to the following general guidelines:
 - a. The height of the proposed addition is not higher than the existing structure, therefore is compatible with the surrounding buildings.
 - b. The proportion of the addition has been designed specifically to be compatible with the original building.
 - c. The addition will not have any windows. The proposed gate has been designed to be compatible with the existing building.
 - d. The addition will be attached to the existing building, so there will be no open spaces to consider.
 - e. The proposed addition will not have a roof.
 - f. Use of appurtenances does not apply.
 - g. The scale of the proposed addition has been designed to be compatible with the original building.
 - h. The proposed addition is in the back of the property, so it will not affect the street façades of the original building or adjacent buildings.

In response to the Secretary of the Interior's "Standards for Historic Preservation Projects", we would like to state the following:

- a. The property is being used as a residence, which is its original intended purpose.
- b. The proposed addition will not destroy or alter any historic material or distinctive architectural features.
- c. The proposed addition is not a historical recreation.
- d. The proposed addition will not attempt to disguise the changes of the building, its site or its environment.
- e. No distinctive stylistic features or examples of skilled craftsmanship will be altered or removed.
- f. We will attempt to repair deteriorated architectural features whenever possible, however this new addition should not require any such repairs to the existing building.
- g. We will attempt to clean the surface the building gently whenever possible, however this new addition should not require any such cleaning to the existing building.
- h. We will attempt to protect and preserve any archeological resources discovered while building this new addition.
- i. The proposed addition is a contemporary design which is compatible with the size, scale, color, material and character of the property, neighborhood and environment.
- j. If the proposed addition were to be removed in the future, the essential form and integrity of the original building would remain unimpaired.

Proposed Deck Addition
 Draft #1
 June 6, 2011



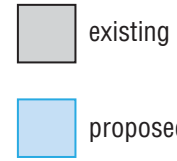
701 S Busey Ave
 Urbana, IL 61801
 Paul Young
 217-398-1923
 paul@electric-pictures.com



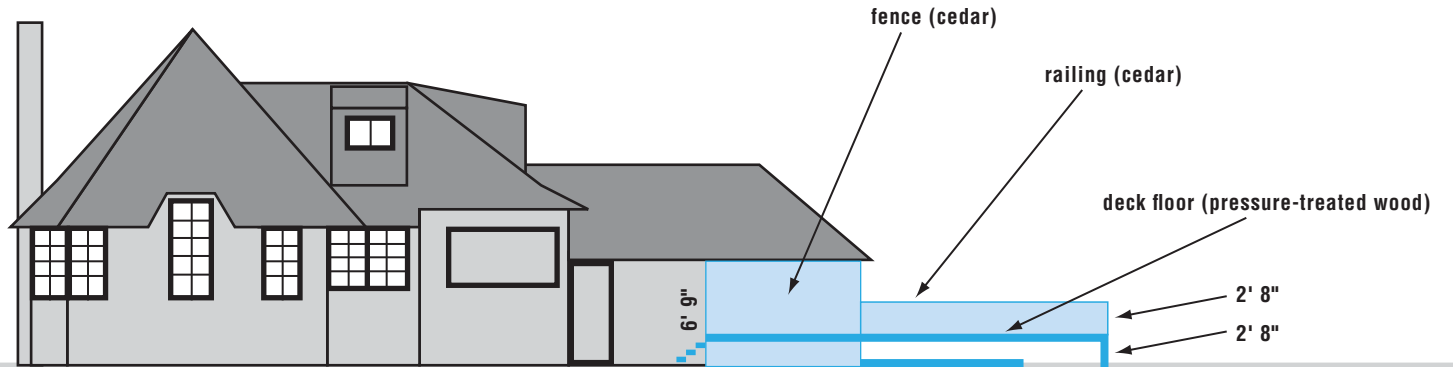
scale 1 : 150
 1 in = 12.5 ft

Proposed Deck Addition
Elevation Plan (North Side)
Draft #1
June 6, 2011

701 S Busey Ave
Urbana, IL 61801
Paul Young
217-398-1923
paul@electric-pictures.com



scale 1 : 150
1 in = 12.5 ft

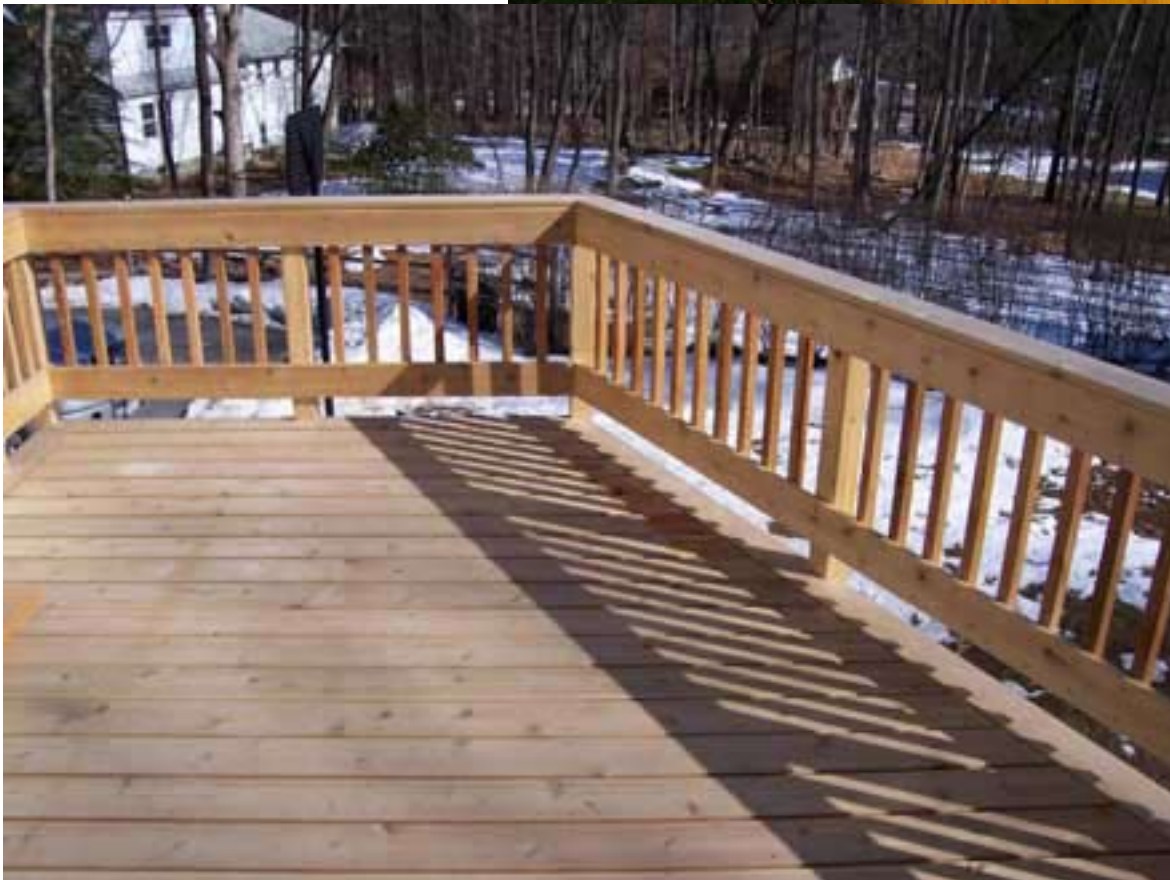


Proposed Deck Addition
Fence & Railing Styles
Draft #1
June 6, 2011

701 S Busey Ave
Urbana, IL 61801
Paul Young
217-398-1923
paul@electric-pictures.com

(Right)
Example of proposed fence style

(Below)
Example of proposed railing style



Proposed Deck Addition
Photos of Existing Property
Draft #1
June 6, 2011

701 S Busey Ave
Urbana, IL 61801
Paul Young
217-398-1923
paul@electric-pictures.com



north side of house



looking down driveway (west)



back of house (looking south)



back of house (looking northeast)



back of house (looking southeast)

EXHIBIT C: PHOTOS

1. Ella Danely Cottage, 701 S Busey Avenue, front façade



2. North Elevation, location of proposed deck



3. East Elevation, driveway, location of proposed deck





EXTERIOR FEATURES

entrances + porches



-GUIDELINES-

The Approach

Exterior Materials

- [Masonry](#)
- [Wood](#)
- [Architectural Metals](#)

Exterior Features

- [Roofs](#)
- [Windows](#)
- [Entrances + Porches](#)
- [Storefronts](#)

Interior Features

- [Structural System](#)
- [Spaces/Features/Finishes](#)
- [Mechanical Systems](#)

Site

Setting

Special Requirements

- [Energy Efficiency](#)
- [New Additions](#)
- [Accessibility](#)
- [Health + Safety](#)



[Identify](#) [Protect](#) [Repair](#) [Replace](#) [Missing feature](#) [Alterations/Additions](#)

Identify, Retain and Preserve

RECOMMENDED

Identifying, retaining, and preserving entrances and porches--and their functional and decorative features--that are important in defining the overall historic character of the building such as doors, fanlights, sidelights, pilaster, entablatures, columns, balustrades, and stairs.



Entrances and porches are quite often the focus of historic buildings, particularly on primary elevations, such as this dramatic brick archway on an early 20th century building. Photo: NPS files.

NOT RECOMMENDED

Removing or radically changing entrances and porches which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Stripping entrances and porches of historic material such as wood, cast iron, terra cotta tile, and brick.

Removing an entrance or porch because the building has been re-oriented to accommodate a new use.

Cutting new entrances on a primary elevation. Altering utilitarian or service entrances so they appear to be formal entrances by adding panelled doors, fanlights, and sidelights.

Altering utilitarian or service entrances so they appear to be formal entrances by adding panelled doors, fanlights, and sidelights.

[top](#)

Protect and Maintain

RECOMMENDED

Protecting and maintaining the masonry, wood, and architectural metals that comprise entrances and porches through appropriate surface treatments such as cleaning, rust removal, limited paint removal, and re-application of protective coating systems.

NOT RECOMMENDED

Failing to provide adequate protection to materials on a cyclical basis so that deterioration of entrances and porches results.

Failing to undertake adequate measures to assure the protection of historic entrances and porches.

top

Repair

RECOMMENDED

Repairing entrances and porches by reinforcing the historic materials. Repair will also generally include the limited replacement in kind--or with compatible substitute material--of those extensively deteriorated or missing parts of repeated features where there are surviving prototypes such as balustrades, cornices, entablatures, columns, sidelights, and stairs.



In Rehabilitation, deteriorated features should be repaired, whenever possible, and replaced when the severity of the damage makes it necessary. Here, a two-story porch is seen prior to treatment (before). The floor boards are rotted out and the columns are structurally unsound. Other components are in varying stages of decay. Appropriate work on the historic porch (after) included repairs to the porch rails; and total replacement of the extensively deteriorated columns and floor boards. Some dismantling of the porch was necessary. Photos: NPS files.

NOT RECOMMENDED

Replacing an entire entrance or porch when the repair of materials and limited replacement of parts are appropriate.

Using a substitute material for the replacement parts that does not convey the visual appearance of the surviving parts of the entrance and porch or that is physically or chemically incompatible.

top

Replace

RECOMMENDED

Replacing in kind an entire entrance or porch that is too deteriorated to repair--if the form and detailing are still evident--using the physical evidence as a model to reproduce the feature. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

NOT RECOMMENDED

Removing an entrance or porch that is unrepairable and not replacing it; or replacing it with a new entrance or porch that does not convey the same visual appearance.

top

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for the Replacement of Missing Historic Features

RECOMMENDED

Designing and constructing a new entrance or porch when the historic entrance or porch is completely missing. It may be a restoration based on historical, pictorial, and physical documentation; or be a new design that is compatible with the historic character building.

NOT RECOMMENDED

Creating a false historical appearance because the replaced entrance or porch is based on insufficient historical, pictorial, and physical documentation.

Introducing a new entrance or porch that is incompatible in size, scale, material, and color.

top

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Alterations/Additions for the New Use

RECOMMENDED

Designing enclosures for historic porches on secondary elevations when required by the new use in a manner that preserves the historic character of the building. This can include using large sheets of glass and recessing the enclosure wall behind existing scrollwork, posts, and balustrades.

Designing and installing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the buildings, i.e., limiting such alteration to non-character-defining elevations.

NOT RECOMMENDED

Enclosing porches in a manner that results in a diminution or loss of historic character by using materials such as wood, stucco, or masonry.



As part of a rehabilitation project, a late-



19th century produce distribution center (top left) with a utilitarian loading dock (top right) was removed and replaced with a monumental entrance featuring massive formal columns (left). The new addition is incompatible with the simple, industrial character of the building. Photos: NPS files.

Installing secondary service entrances and porches that are incompatible in size and scale with the historic building or obscure, damage, or destroy character-defining features.

[HISTORICAL OVERVIEW](#) - [PRESERVING](#) - [rehabilitating](#) - [RESTORING](#) - [RECONSTRUCTING](#)

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