



**DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES**

*Planning Division*

**m e m o r a n d u m**

**TO:** Mayor Laurel Lunt Prussing

**FROM:** Elizabeth H. Tyler, FAICP, Community Development Director

**DATE:** March 17, 2016

**SUBJECT:** ZBA-2016-MAJ-01: A request by Geoffrey Merritt for a Major Variance to install a front canopy that will encroach seven feet into the required front yard at 303 W. Griggs Street in the B-1, Neighborhood Business District.

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**Introduction & Background**

The petitioner, Geoff Merritt, has submitted a request to install a front canopy that will encroach seven feet into the required front yard at 303 W. Griggs Street in the B-1, Neighborhood Business District. The existing building at 303 W. Griggs Street encroaches four feet into the required 15-foot front setback. The addition of a proposed three-foot canopy would create a total encroachment of seven feet, or 47 percent, into the required yard. According to Section XI-3.C of the Urbana Zoning Ordinance, reducing a required yard by more than 25 percent requires a Major Variance.

In 2001, the applicant obtained a Conditional Use Permit to operate a mail order record store at 303 W. Griggs Street. The building is still used for that purpose, and in addition contains a small space for bicycle-related retail. In 2015, a Major Variance (see ZBA-2015-MAJ-07) was approved to reduce the number of required parking spaces at the property from seven to three, to be provided off-site. The variance was sought so the applicant could proceed with plans to renovate the building, including removing the existing garage and replacing the front façade. The original variance application did not include a request to allow a canopy to encroach into the required front yard, and the applicant therefore now requests a variance to allow the canopy to be built. The canopy is intended to make the building more attractive and will offer some protection from the elements for the building's main entrance.

At their March 16, 2016 meeting, the Urbana Zoning Board of Appeals heard the case. The ZBA voted six ayes and zero nays to forward the Major Variance request to the City Council with a recommendation for approval.

**Existing Land Uses**

The property is located on W. Griggs Street near Downtown Urbana, one block west of the new park at the Boneyard Creek. It is surrounded by residential uses of varying densities, as well as a small pottery

business immediately to the west. The following chart, along with the attached exhibits, offers a more detailed summary of the surrounding zoning and land uses.

<b>Direction</b>	<b>Zoning</b>	<b>Existing Land Use</b>	<b>Future Land Use</b>
Site	B-1, Neighborhood Business	Mail Order Business, Bike-Related Retail	Residential (Urban Pattern)
North	B-3, General Business	Apartments	Central Business
East	R-5, Medium High Density Multi-Family Residential	Single-Family Home	Residential
South	R-5, Medium High Density Multi-Family Residential	Apartments	Residential
West	B-1, Neighborhood Business	Pottery Business	Residential

### **Comprehensive Plan**

In Urbana’s 2005 Comprehensive Plan, Future Land Use Map #8 identifies the southern portion of the 300 block of W. Griggs Street as an area appropriate for an urban pattern of residential use. The northern portion (across the street from 303 W. Griggs Street) is identified as “Central Business.” The Plan defines “Residential (Urban Pattern),” as areas containing

...primarily single-family residential housing but may also include a variety of compatible land uses such as duplexes, town homes, civic uses, institutional uses, and parks where zoning is appropriate. Residential areas can have different physical patterns of development.

The Plan defines “Central Business” in part as

Contain[ing] a dense, highly intensive land use pattern focusing on an urban style of development and architecture. Pedestrian, bicycle, and transit access are emphasized to ensure areas are walkable. Contain[ing] a mix of land uses ranging from commercial, high-density residential, office, and institutional.

The existing building was constructed as a commercial building and has been consistently used for commercial purposes. The current low-intensity commercial uses of the building are compatible with the Residential (Urban Pattern) land use designation. The property is zoned B-1, Neighborhood Business, and is a low-intensity use, with many customers arriving by foot or by bike, which is compatible with the adjacent “Central Business” designation identified in the Comprehensive Plan.

### **Discussion**

The building at 303 W. Griggs Street has been used for neighborhood businesses for decades. It is currently used as a mail order record store, with a small area used for bicycle-related retail. Like many older properties, it was developed long before current zoning standards were in place. In this case, the applicant would like to make changes to the building to make it more structurally sound, economically viable, and aesthetically pleasing. The first step in the process for the applicant was to apply for a variance to reduce the parking requirements. The applicant was granted such a variance in case ZBA-2015-MAJ-07. The next step in the process was to finalize plans for the renovations. The new plans

include a three-foot canopy on the front of the building, which requires a major variance. The proposed canopy, which can be seen in the plans, elevations, and detail in Exhibit E, will enhance the appearance of the building and should not cause any negative effects in the neighborhood.

## Variance Criteria

Section XI-3 of the Urbana Zoning Ordinance requires the Zoning Board of Appeals to make findings based on variance criteria. The Zoning Board of Appeals must first determine, based on the evidence presented, whether there are special circumstances or special practical difficulties with reference to the parcel concerned, in carrying out the strict application of the ordinance. This criteria is intended to serve as a minimum threshold that must be met before a variance request may be evaluated.

The following is a review of the criteria outlined in the ordinance, followed by staff analysis for this case:

1. *The proposed variance will not serve as a special privilege because the variance requested is necessary due to special circumstances relating to the land or structure involved or to be used for occupancy thereof which is not generally applicable to other lands or structures in the same district.*

The property was developed and the building was constructed long before current zoning regulations were put into place. The building already encroaches more than 25 percent into the required front yard, so any further protrusion would require a Major Variance. Aside from the adjacent property to the west, all of the other commercial buildings in the area are zoned B-4, which has no setback requirements. This property is unique in that it is zoned B-1 but shares many characteristics with buildings in B-4 zones. These are special circumstances of this particular site which make this variance necessary.

2. *The variance requested was not the result of a situation or condition having been knowingly or deliberately created by the Petitioner.*

The variance requested was not the result of a situation created by the petitioner as the site was developed many decades prior to the petitioner purchasing the property. The petitioner is trying to rehabilitate the existing building to make it more attractive and viable as a neighborhood business.

3. *The variance will not alter the essential character of the neighborhood.*

The building will be renovated and the façade improved, a canopy will be installed, and the existing curb cut will be removed, all of which will help to preserve and enhance the character of the neighborhood.

4. *The variance will not cause a nuisance to the adjacent property.*

The installation of a canopy will have no effect on adjacent properties and will cause no nuisance.

5. *The variance represents generally the minimum deviation from requirements of the Zoning Ordinance necessary to accommodate the request.*

The proposed canopy is modest in scale, at three feet. Any canopy would require a Major Variance, and a smaller canopy would not offer the benefit of protection from the weather. The variance therefore represents the minimum deviation necessary.

## Summary of Findings

1. 303 W. Griggs Street is zoned B-1, Neighborhood Business.

2. The property is currently used for bicycle-related retail and as a “Mail Order Business”, a use that was granted via Conditional Use Permit in Case No. ZBA-01-C-01.
3. The property was granted a Major Variance in Case No. ZBA-2015-MAJ-07 to reduce the required parking from up to seven spaces to three spaces.
4. The petitioner plans to renovate the existing building, rebuild the front façade, and install a three-foot canopy.
5. The petitioner has applied for a Major Variance to install a front canopy that will encroach seven feet into the required 15-foot front setback.
6. The variance request will not serve as a special privilege to the property owner.
7. The variance request was not the result of a situation knowingly created by the petitioner.
8. The variance request will not alter the essential character of the neighborhood, and will help to preserve and enhance the neighborhood’s character.
9. The variance request will not cause a nuisance to adjacent property owners.
10. The variance request represents a reasonable deviation from the requirements of the Zoning Ordinance.
11. The proposal is generally consistent with the 2005 Urbana Comprehensive Plan.

## **Options**

The Urbana City Council has the following options in Case No. ZBA-2016-MAJ-01:

1. Approve the variances based on the findings outlined in this memo; or
2. Approve the variances along with certain terms and conditions. If conditions or findings differ from those recommended in the attached draft ordinance, these should be articulated accordingly; or
3. Deny the variance. If the City Council elects to do so, the Council should articulate findings supporting its denial.

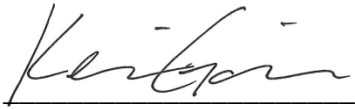
## **Recommendation**

At their March 16, 2016, meeting, the Zoning Board of Appeals voted six ayes and zero nays to recommend **APPROVAL** for the variance with the following condition:

1. The canopy shall be built in general conformance with the plans provided by the applicant in Exhibit E.

Staff concurs with the ZBA recommendation.

Prepared by:



Kevin Garcia, AICP  
Planner II

Attachments: Draft Ordinance  
Draft ZBA Meeting Minutes 3/16/2015  
Exhibit A: Location and Existing Land Use Map  
Exhibit B: Zoning Map  
Exhibit C: Future Land Use Map  
Exhibit D: Application  
Exhibit E: Site Plan, Elevation, and Details

cc: Geoff Merritt

**ORDINANCE NO. 2016-03-021**

**AN ORDINANCE APPROVING A MAJOR VARIANCE**

(To allow a front canopy that will encroach seven feet into the required front yard in the City's B-1, Neighborhood Business District, at 303 West Griggs Street / ZBA Case No. 2016-MAJ-01)

**WHEREAS**, the Urbana Zoning Ordinance provides for a major variance procedure to permit the Zoning Board of Appeals and the Corporate Authorities to consider applications for major variances where there are special circumstances or conditions with a parcel of land or a structure; and

**WHEREAS**, Geoffrey Merritt has submitted a petition for a major variance to allow a front canopy that will encroach seven feet into the required front yard in the City's B-1, Neighborhood Business District; and

**WHEREAS**, said petition was presented to the Urbana Zoning Board of Appeals in ZBA Case No. 2016-MAJ-01; and

**WHEREAS**, after due publication in accordance with Section XI-10 of the Urbana Zoning Ordinance and with Chapter 65, Section 5/11-13-14 of the Illinois Compiled Statutes (65 ILCS 5/11-13-14), the Urbana Zoning Board of Appeals held a public hearing on the proposed major variance on March 16, 2016 and voted six ayes and zero nays to recommend that the Corporate Authorities approve the requested variance; and

**WHEREAS**, after due and proper consideration, the Corporate

Authorities of the City of Urbana have determined that the major variance referenced herein conforms with the major variance procedures in accordance with Article XI, Section XI-4.B of the Urbana Zoning Ordinance; and

**WHEREAS**, the Corporate Authorities have considered the variance criteria established in the Urbana Zoning Ordinance and have determined the following findings:

1. Geoffrey Merritt is applying for a variance to allow a front canopy that will encroach seven feet into the required front yard at 303 West Griggs Street.
2. A Conditional Use Permit was issued for a "Mail Order Business" in Case No. ZBA-01-C-01. The building is also used for bicycle-related sales.
3. The property was granted a Major Variance in Case No. ZBA-2015-MAJ-07 to reduce the required parking from up to seven spaces to three spaces.
4. The petitioner plans to renovate the existing building, rebuild the front façade, and install a three-foot canopy.
5. The petitioner has applied for a Major Variance to install a front canopy that will encroach seven feet into the required 15-foot front setback.
6. The variance request will not serve as a special privilege to the property owner.
7. The variance request was not the result of a situation knowingly created by the petitioner.
8. The variance request will not alter the essential character of the neighborhood, and may help to preserve and enhance the neighborhood's character.

9. The variance request will not cause a nuisance to adjacent property owners.
10. The variance request represents a reasonable deviation from the requirements of the Zoning Ordinance.
11. The proposal is generally consistent with the 2005 Urbana Comprehensive Plan.

**NOW, THEREFORE, BE IT ORDAINED** BY THE CITY COUNCIL OF THE CITY OF URBANA, ILLINOIS, as follows:

Section 1. In ZBA Case No. 2016-MAJ-01, the major variance requested by Geoffrey Merritt is hereby approved in the manner proposed in the application and subject to the following conditions:

1. The canopy shall be built in general conformance with the plans provided by the applicant in Exhibit E.

The major variance described above shall only apply to the property located at 303 West Griggs Street, Urbana, Illinois, more particularly described as follows:

LEGAL DESCRIPTION:

Parts of Lots 11 (as Plat Record recorded in Deed Record 19 at Page 285) and 12 (as Plat Record recorded in Deed Record 19 at Page 285) in S.T. Busey's Addition to Urbana, in Champaign County, Illinois. Parcel Identification Number: 91-21-08-383-004

Section 2. The Urbana City Clerk is directed to publish this Ordinance in pamphlet form by authority of the corporate authorities. This Ordinance shall be in full force and effect from



and after its passage and publication in accordance with the terms of Chapter 65, Section 1-2-4 of the Illinois Compiled Statutes (65 ILCS 5/1-2-4).

This Ordinance is hereby passed by the affirmative vote, the "ayes" and "nays" being called of a majority of the members of the City Council of the City of Urbana, Illinois, at a regular meeting of said Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2016

**PASSED by the City Council** on this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSTAINS:

\_\_\_\_\_  
Phyllis D. Clark, City

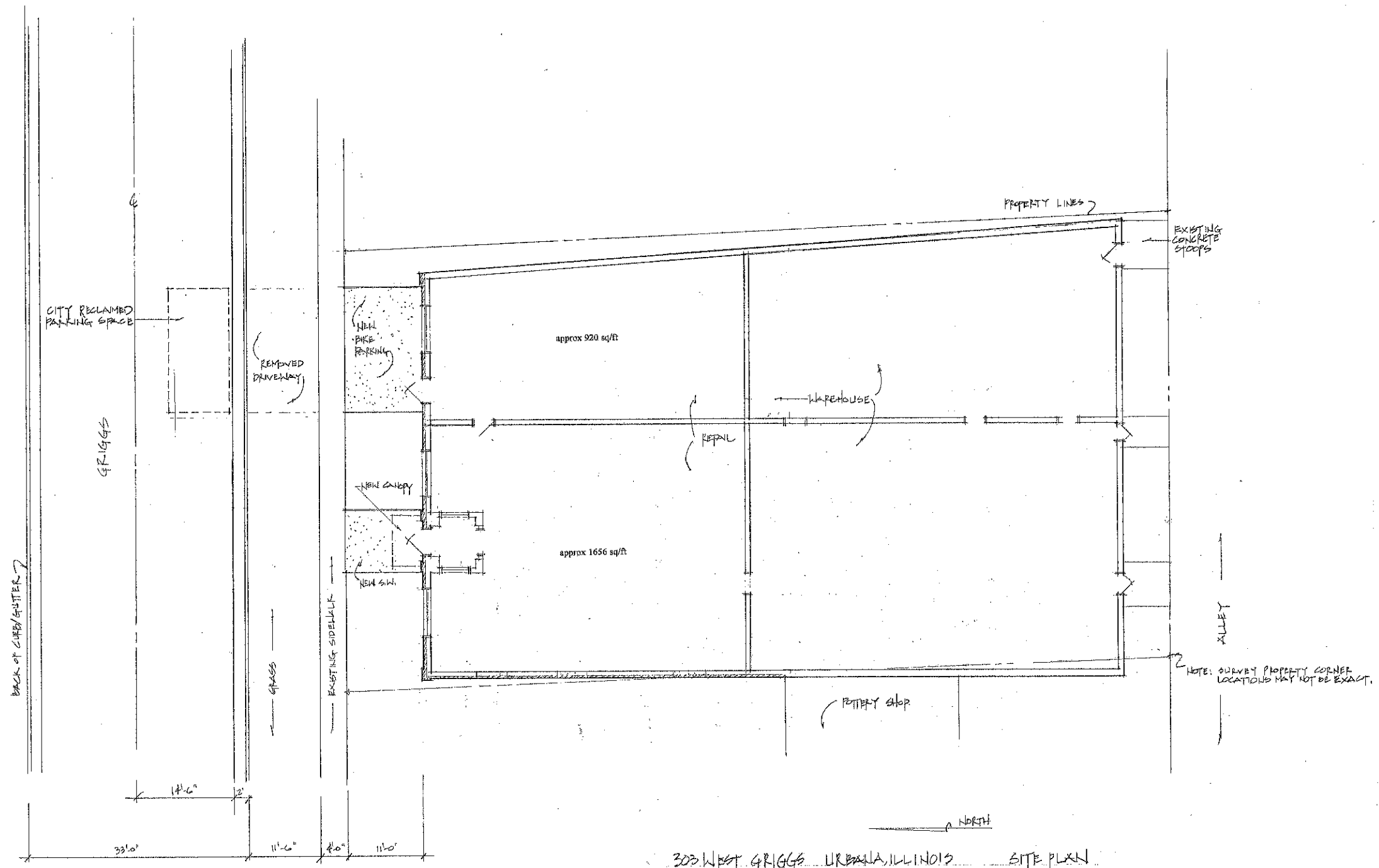
**APPROVED BY THE MAYOR** this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Laurel Lunt Prussing, Mayor

**CERTIFICATE OF PUBLICATION IN PAMPHLET FORM**

I, Phyllis D. Clark, certify that I am the duly elected and acting Municipal Clerk of the City of Urbana, Champaign County, Illinois. I certify that on the \_\_\_\_\_ day of \_\_\_\_\_, 2016, the corporate authorities of the City of Urbana passed and approved Ordinance No. \_\_\_\_\_, entitled AN ORDINANCE APPROVING A MAJOR VARIANCE (To allow a front canopy that will encroach seven feet into the required front yard in the City's B-1, Neighborhood Business District, at 303 West Griggs Street / ZBA Case No. 2016-MAJ-01) which provided by its terms that it should be published in pamphlet form. The pamphlet form of Ordinance No. \_\_\_\_\_ was prepared, and a copy of such Ordinance was posted in the Urbana City Building commencing on the \_\_\_\_\_ day of \_\_\_\_\_, 2016, and continuing for at least ten (10) days thereafter. Copies of such Ordinance were also available for public inspection upon request at the Office of the City Clerk.

DATED at Urbana, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.



303 WEST GRIGGS URBANA, ILLINOIS SITE PLAN  
 1/8" = 1'-0"

REVISIONS	BY

**Merritt Building Masonry Restoration**

Renovation  
 303 West Griggs  
 Urbana, Illinois 62580

RSA Field, Studio, Architecture, LLC  
 1004 Industrial Drive, Champaign, Illinois 61822  
 217-244-7400

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DATE 5.25.15
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**Project Scope:**

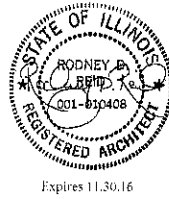
The Project Scope consists of the removal and replacement of the entire front (North) masonry clay tile back-up wall with brick veneer wall and its footing/foundation complete, including all doors, windows, etc. and replacement with new concrete masonry unit back-up with new brick veneer on new foundation. The West and East walls will just have the brick veneer removed and replaced with new brick and minor patching tie-in to the new foundation. New windows and doors will be installed with two new light fixtures.

There will be no new HVAC or Plumbing work.

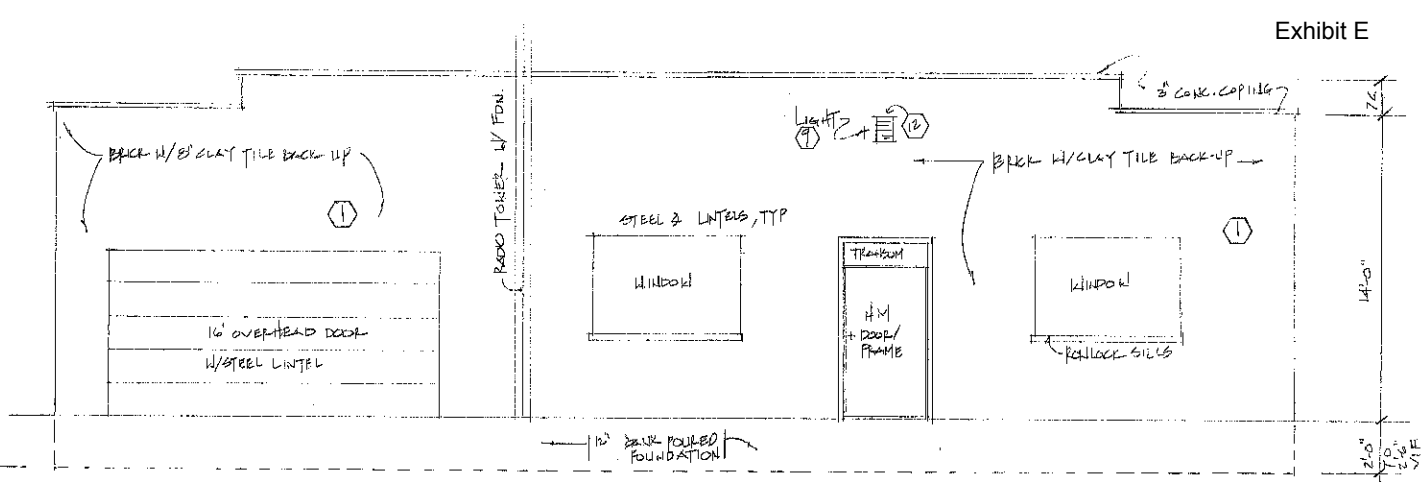
**CODE INFORMATION**

Applicable Codes:

- 1507 Illinois Accessibility Code
- 2009 International Building Code
- 2009 International Mechanical Code - (IMC) - (No new mechanical work included in this project)
- 2008 National Electric Code - (NEC)
- 2014 Illinois Plumbing Code - (IPC) - (No new Plumbing work included in this contract)
- 2012 Illinois Energy Conservation Code



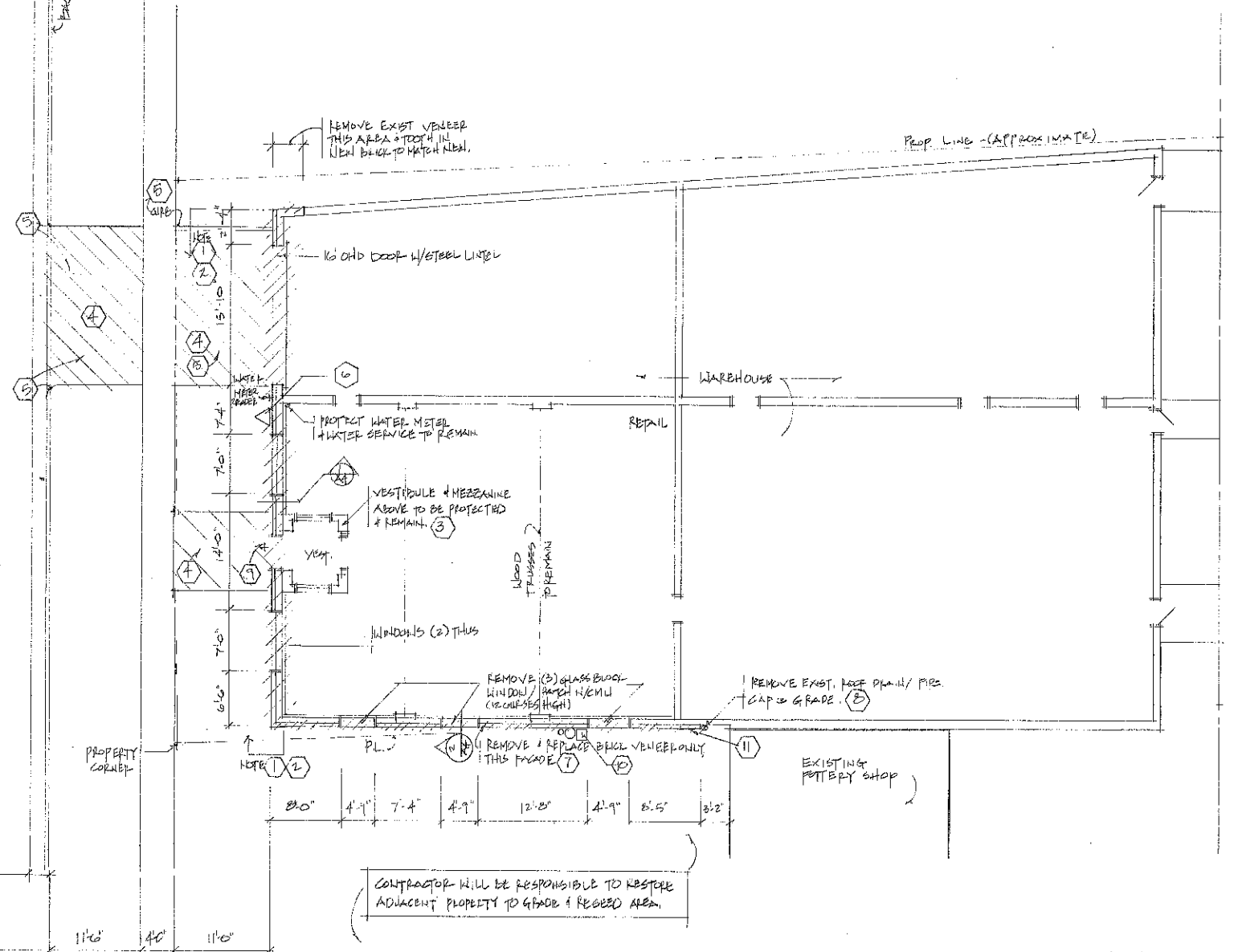
REMOVE ALL CONSTRUCTION OF NORTH FACADE INCLUDING BANK-POURED FDN, BRICK CLAY TILE, WINDOWS, DOORS, ETC. COMPLETE.



SEE PLAN BELOW FOR DEMOLITION & REMOVALS ON EAST & WEST FACADES

**NORTH ELEVATION - EXISTING CONDITIONS - DEMO**  
1/4" = 1'-0"

BACK OF CURB/GUTTER  
GRIGGS STREET  
BACK OF CURB/GUTTER



- Keyed Demolition Notes**
1. Remove Existing Brick veneer with 8" clay tile back-up, complete from the bottom of the bank poured concrete foundation up through and including the 3" concrete coping. See the existing elevation and plan for dimensions. This includes the removal of windows, overhead and main doors, lights, steel lintels and all associated appearances.
  2. Remove foundation. Test excavation indicates that it is between 2" and 2'-6" deep and bank poured. There is no knowledge of whether or not there is any reinforcing. Saw cut and remove existing sidewalks and driveways.
  3. Protect interior vestibule and wood framed mezzanine and associated stairs. The vestibule is to remain. Patching to ensure that the vestibule and mezzanine remain in use should be included in the bid pricing.
  4. Contractor shall provide dumpsters and properly dispose of all construction debris from removals and construction process.
  5. Remove concrete driveways and sidewalks, and curb along the side of the driveway. Leave compacted sub-base in place for reuse at sidewalks and for bike parking area. Remove base at driveway between City Sidewalk and Street. Excavate slab areas as necessary and add 6" topsoil for planting in new grass area. Contractor will be required to match City of Urbana curb and gutter requirements when patching in that length of curb and gutter.
  6. Remove triangular metal radio tower complete with foundation/footing. There is no record of what is below grade.
  7. Remove brick veneer only on the West facade of the building. The clay tile back-up is intended to remain in place. Remove the (4) courses of 8" x 8" x 8" glass block windows and patch in with cmu to match and then install new brick veneer as shown on the new work elevations. Three locations of glass block.
  8. Remove the roof drain and cap the pipe into the ground for future use.
  9. Remove existing light fixture, junction box and pull wiring back to interior JB. Use that interior JB to supply the two new light fixtures at the entry and the existing vestibule fixture. Install new light switch to operate two exterior fixtures and one switch for the existing interior vestibule fixture.
  10. Remove three existing plastic boxes and associate wiring. Protect existing weather-head and wiring and re-anchor after installation of new brick. Remove other existing abandoned conduit and associated wiring.
  11. Remove three through-wall anchor plates.
  12. Remove existing alarm box and pull associated wire and conduits. Box will not be replaced.

**SITE PLAN / REMOVALS**  
1/8" = 1'-0"  
6" NORTH

At the beginning of the project, the Contractor shall be responsible to design and install shoring for the existing roof systems on the Retail and Warehouse sides of the project prior to the removal of the masonry that will be replaced. The shoring shall remain in place until the new supporting masonry has reached its supportive strength. The Contractor shall also be responsible to secure the site with weather resistant temporary partitioning including a lockable access door for the Owner's use. This access will need to be coordinated with the Owner and the Contractor and the temporary partitioning may be removed when coordinated with the Architect and Owner.

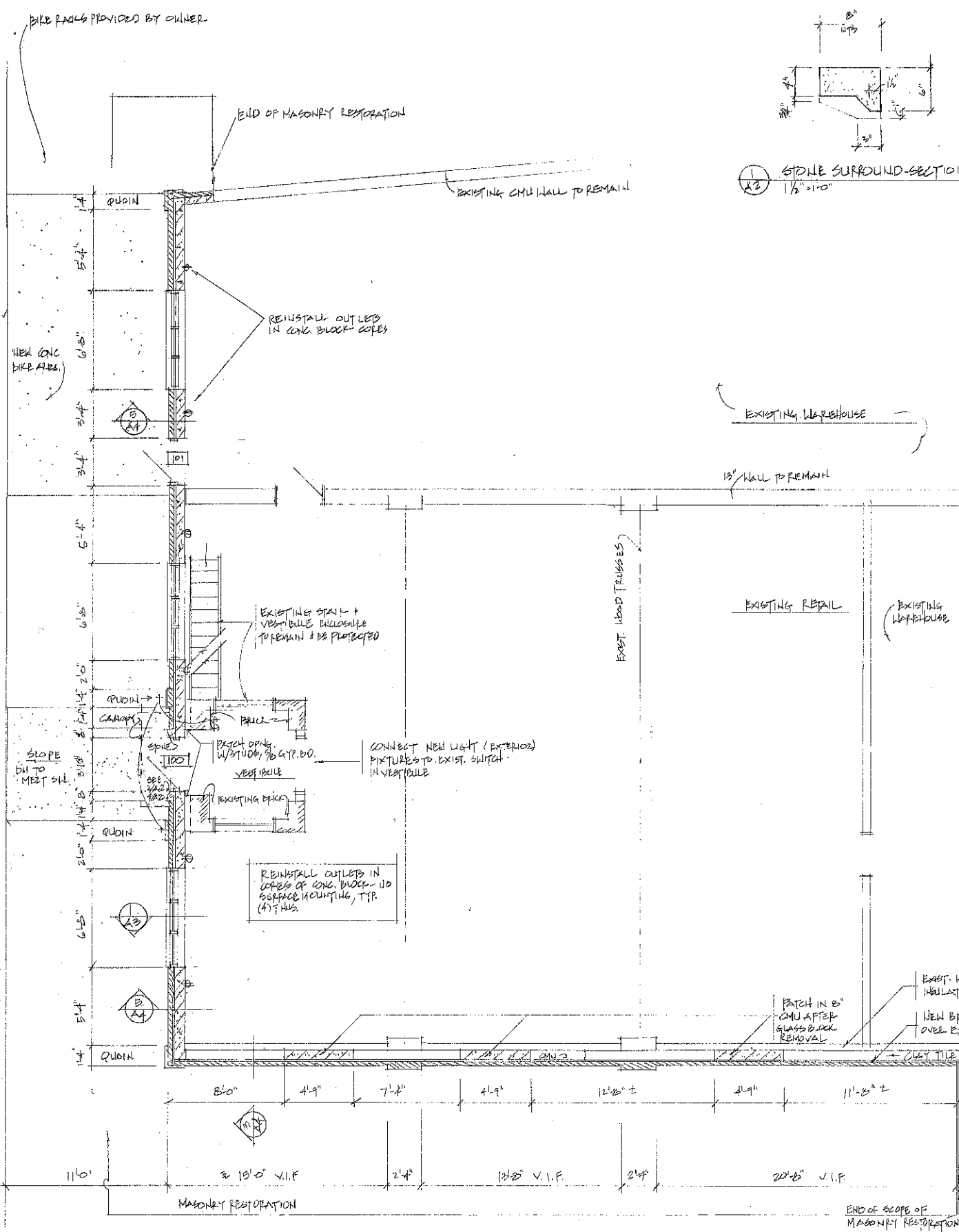
REVISIONS	BY

**Merritt Building Masonry Restoration**

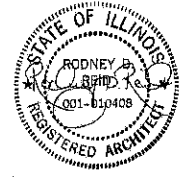
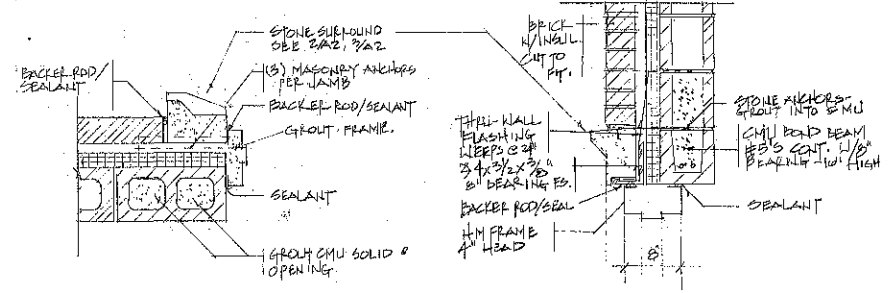
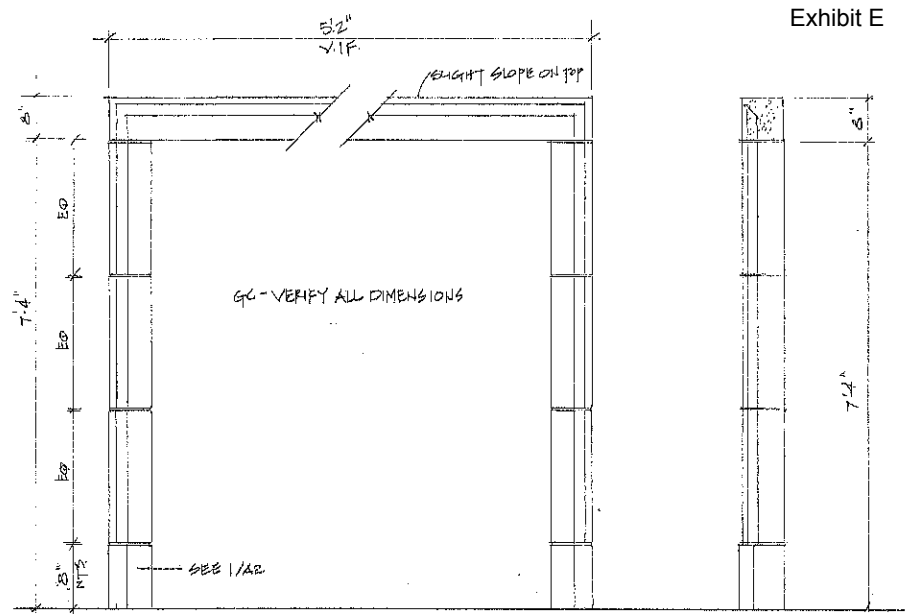
Renovation  
303 West Briggs  
Urbana, Illinois 62501

**RSA** Field, Studio, Architecture, LLC  
1504 Hyman Drive, Champaign, Illinois 61822  
731.240.7440

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A2  
STONE SURROUND-SECTION  
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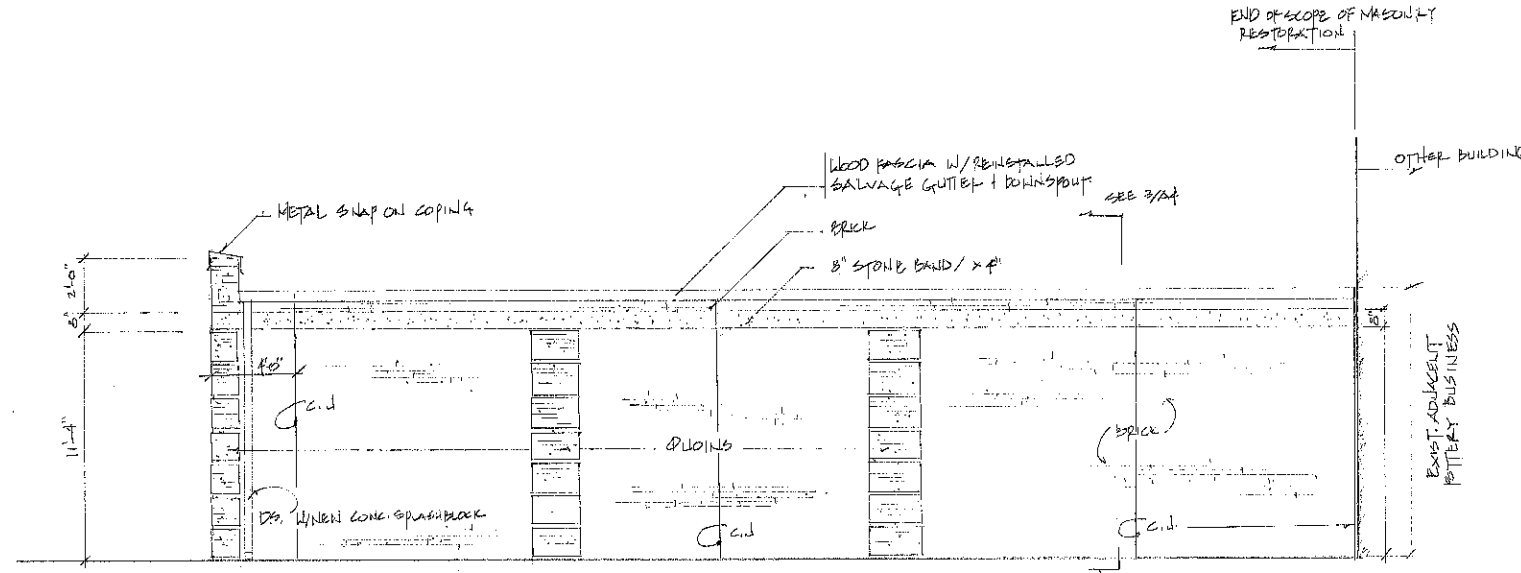
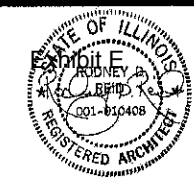
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**Merritt Building Masonry Restoration**

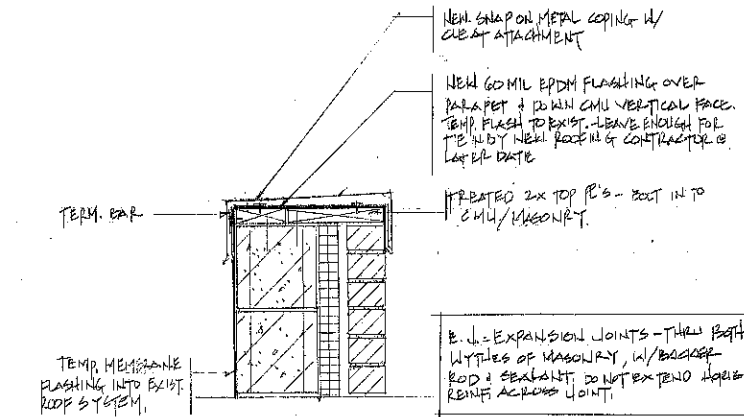
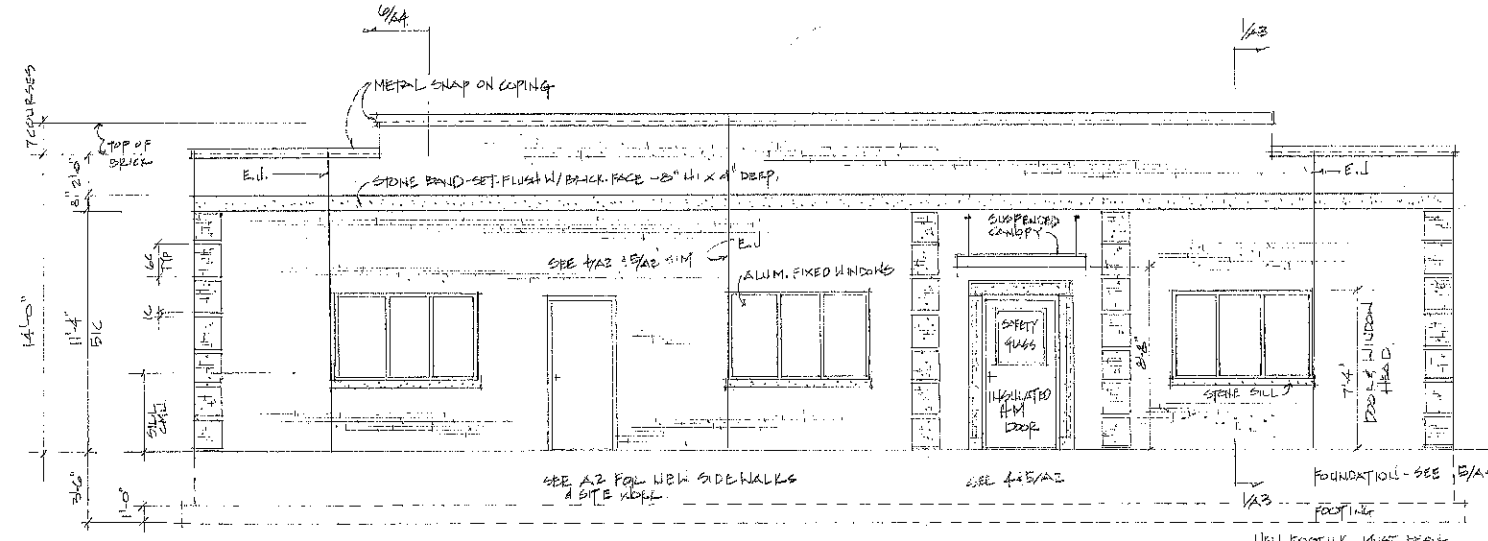
Renovation  
300 West Chicago  
Chicago, Illinois 60610

**RSA** Rod Stabin Architecture LLC  
854 North Dearborn, Chicago, Illinois 60622  
773.551.7463

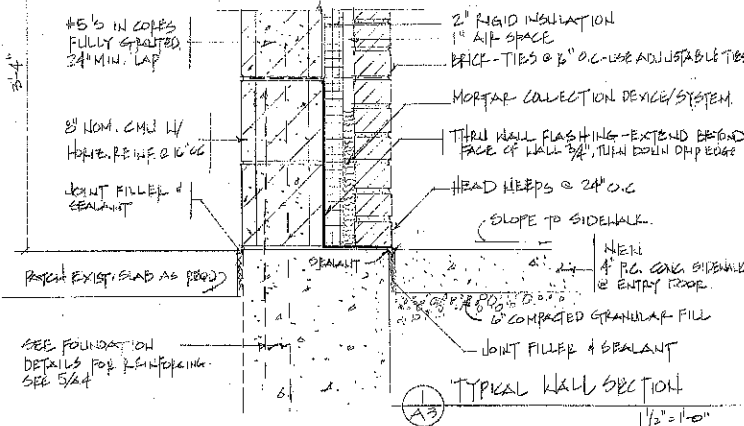
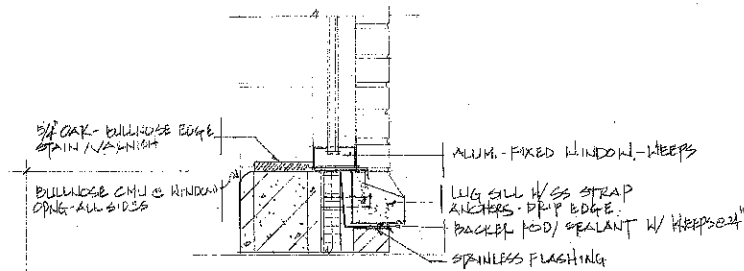
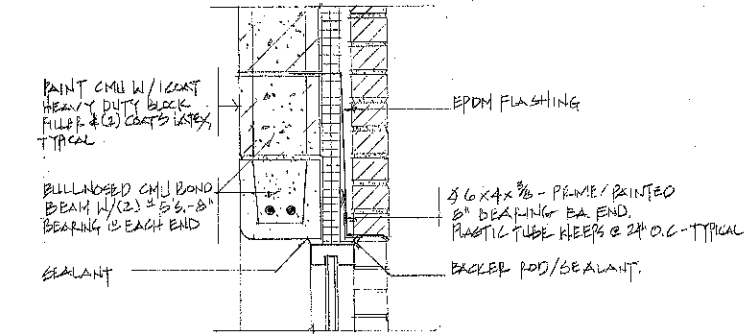
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C.J. = CONTRA JOINT - BACKER ROD + SEALANT - THREE BRICK WYTHES ONLY.



E.J. = EXPANSION JOINTS - THREE BRICK WYTHES OF MASONRY, W/ BACKER ROD + SEALANT. DO NOT EXTEND ABOVE ROOF ACROSS JOINT.



REVISIONS	BY

**Merritt Building Masonry Restoration**

Renovation  
1700 West Briggs  
Urbana, Illinois 61801

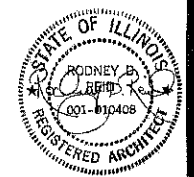
**RSA** Real Studio Architecture, LLC  
1001 Lyndon Drive, Champaign, Illinois 61822  
731-239-7400

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REVISIONS	BY

Renovation  
 303 North Dearborn  
 URBANA, ILLINOIS 61801

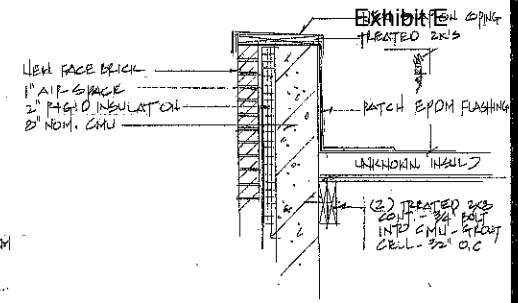
Merritt Building Masonry Restoration



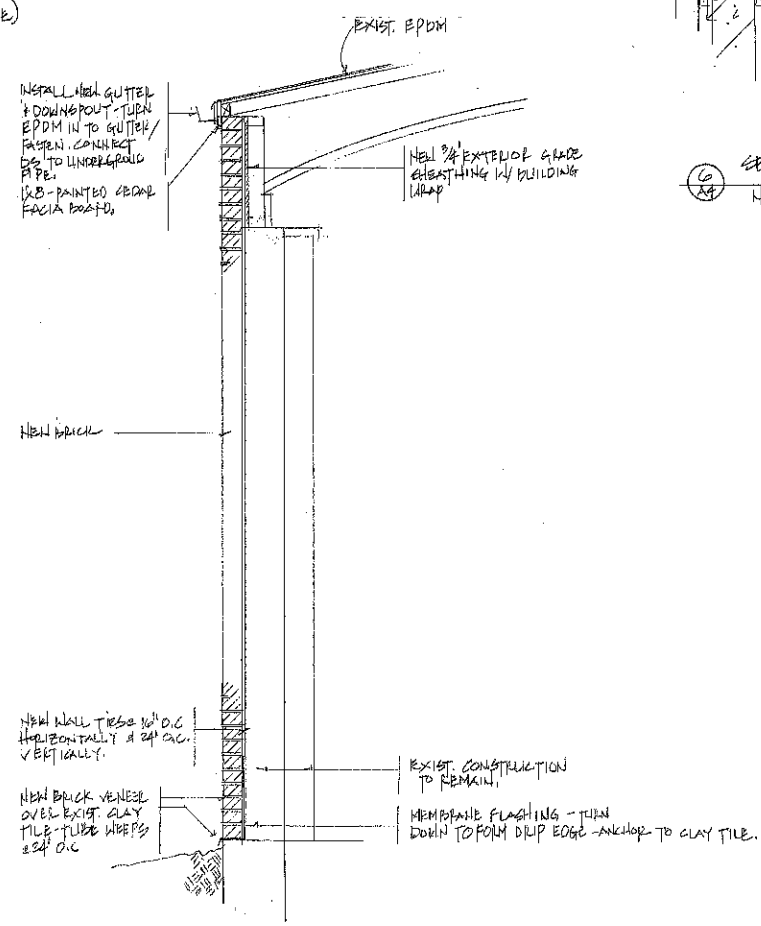
RSA  
 Rodney D. Reed, Architect, LLC  
 2901 Spanglers Drive, Champaign, Illinois 61822  
 217-245-1433

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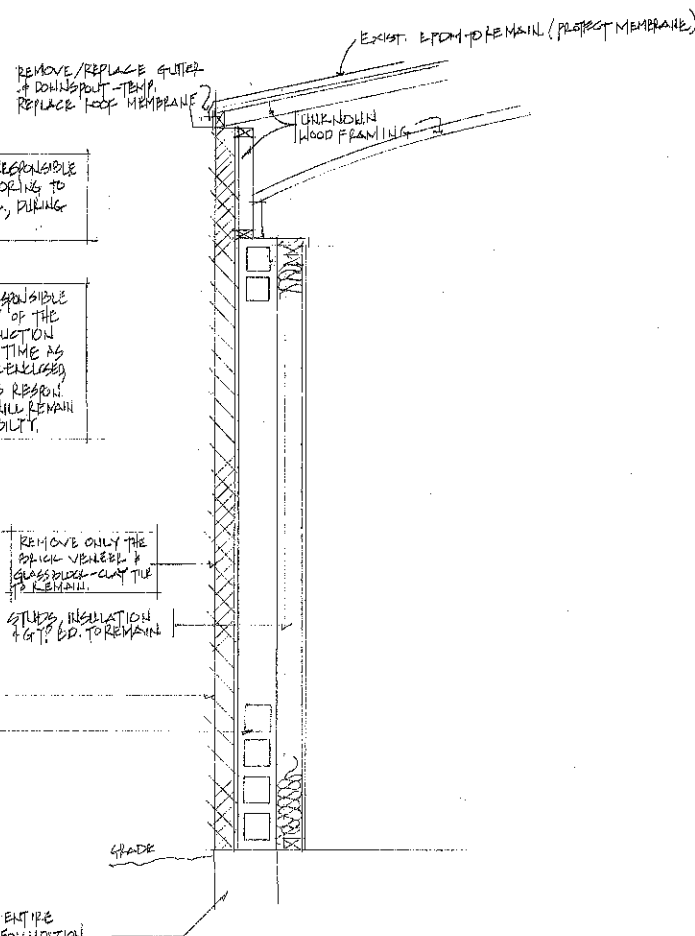
A-4  
 OF 8 SHEETS



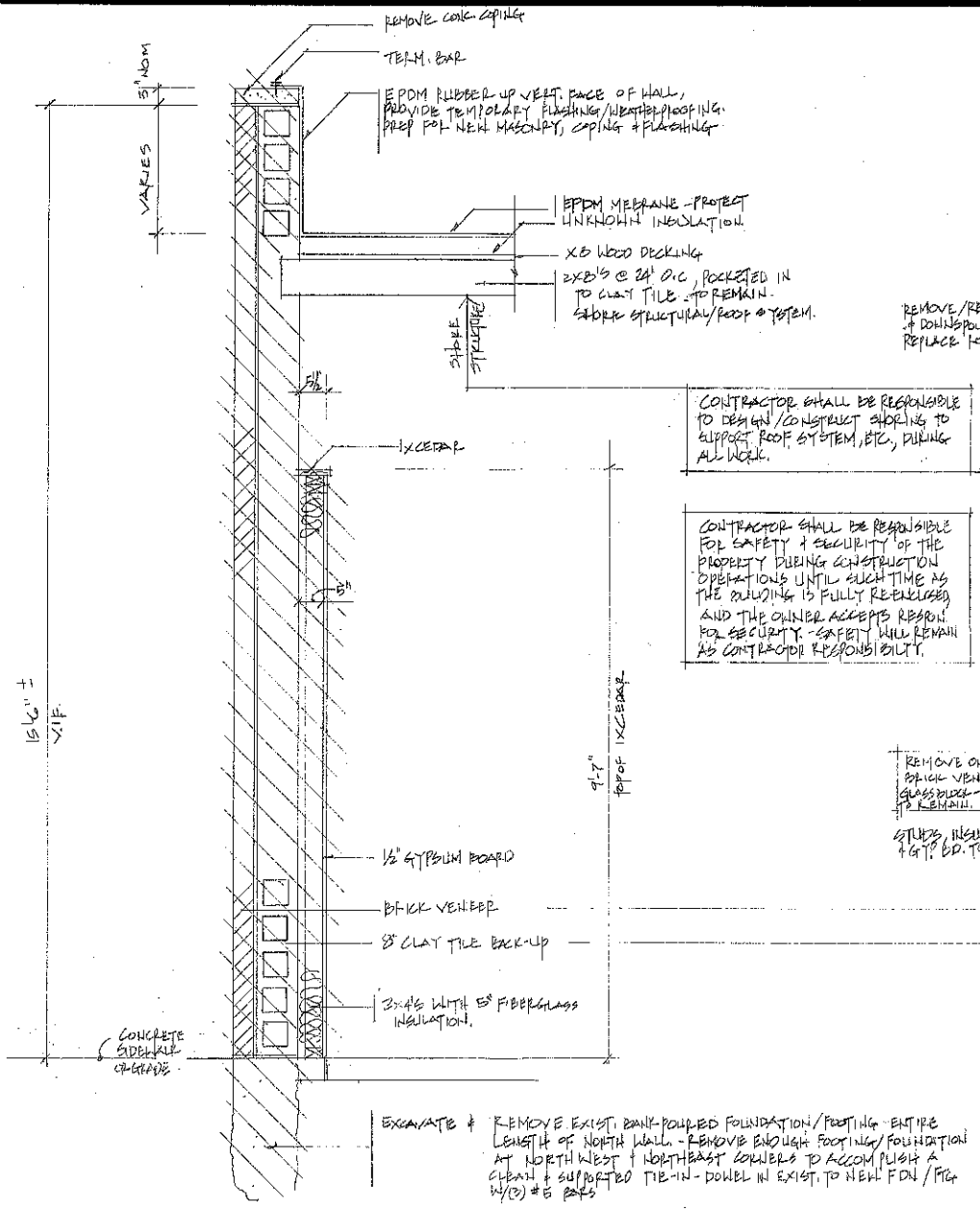
SECTION C WAREHOUSE  
 NORTH WALL 3/4" = 1'-0"



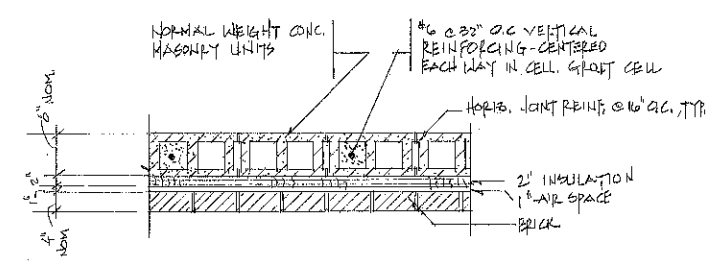
WEST WALL - NEW WORK



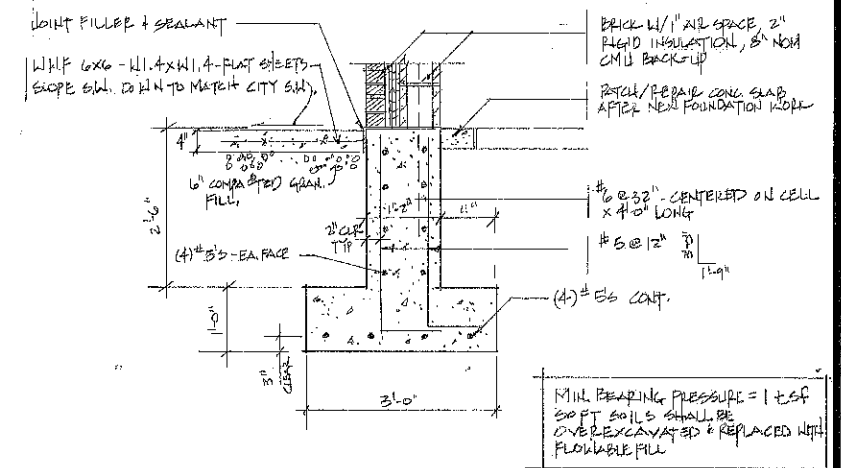
WEST WALL - EXISTING CONDITION/REMOVALS



TYPICAL NORTH WALL - EXISTING CONDITION W/REMOVALS



SECTION THROUGH TYPICAL EXTERIOR WALL  
 1/8" SCALE



TYPICAL NEW FOOTING - 3/4" = 1'-0"

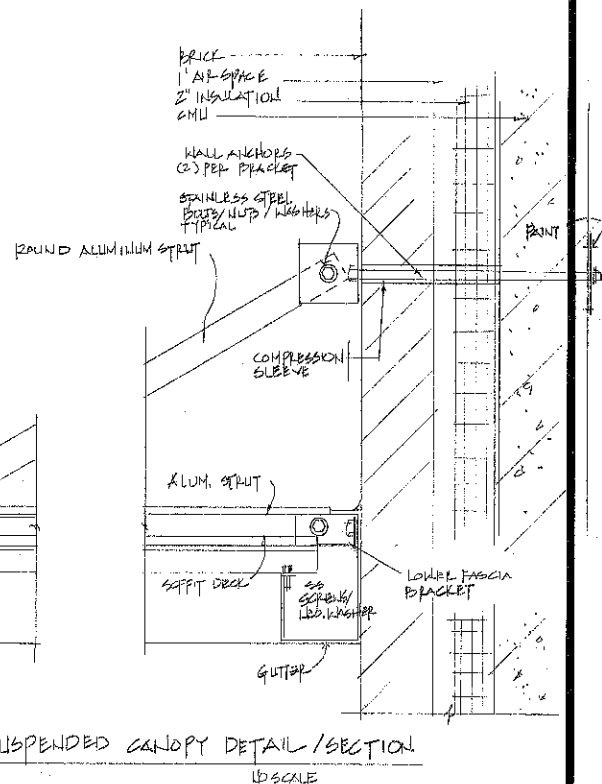
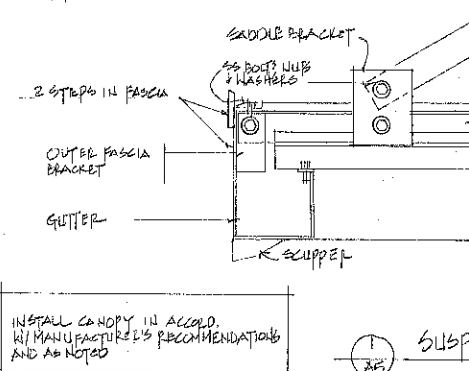
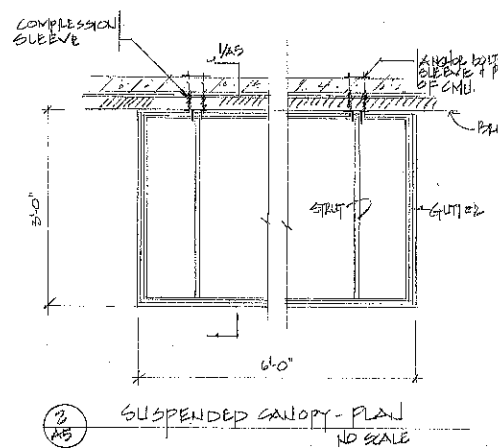
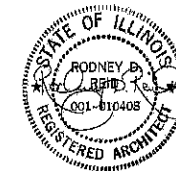
Specification Items:

- All materials are to be installed in accordance with the Manufacturer's installation recommendations unless otherwise noted. Any substitutions shall be applied for and approved prior to the receipt of bids.
- Cast stone shall meet the requirements of ASTM C1364 for the Cast Stone Institute. All stone anchors shall be 304 stainless steel. Flashing of stone shall be Teflon system or approved system. Color shall be from Manufacturer's standard colors in the buff range. Owner and Architect to select. Joints in stone and stone to brick shall be 3/8" with becker rod and sealant. Flash at all stone banding, sills and surround. Install plastic tube weeps at 24" o.c. typical.
- The brick used will be selected by the Architect and Owner at a later date. For bidding purposes, the contractor shall figure an allowance of \$800 per thousand brick.
- Cavity wall insulation to be Styrofoam Cavity Meta board or Foamular 250 by JLC Industries.
- Gypsum Board Drywall 5/8" fire code impact resistant Gypsum Board, to patch at the entry and 1/2" at other walls as required.
- Exterior Sealants and Interior Caulking: Tremco, Sarnoborn NP-1 exterior grade as basis of design.
- Paint: For CMU use Heavy Body Black filler and two coats Latex Paint Confirm all colors with Architect. Use Sherwin Williams/MAB or Benjamin Moore as acceptable products.
- Stain and varnish: new 5/4" oak sills, color to be selected by Architect with clear satin finish. Use Sherwin Williams/MAB or Benjamin Moore as acceptable products. Provide samples for Architect's review prior to start of finishing.
- New exterior doors shall be hollow metal insulated Extra Heavy Duty, 1 3/4" thick, composite construction; foam insulating core bonded to both faces; 16 gauge steel face sheets; .60 oz./sq galvanized coating. HM frames to be 14 gauge steel; 1.25 oz./sq galvanized coating. Provide three anchors per jamb for installation into masonry walls.
- Exterior Doors: by Stecraft, Durries  
Door 100  
3'-6" x 7'-0" door x 1 3/4", w/ safety glass fits as shown (Needs Exterior Grade Paint Finish)  
2 pair Hinges Hager Stainless Steel BHB95 5 x 5 NRP US220. Stainless Steel with SS pin  
1 Closer 4040XP-S-CUSH 888 - By LCN  
1 Threshold - S408A x 3'-6" by Resse or equal  
1 Sweep 323A - x 3'-6" by Resse or equal  
1 ea. Sets Weather-strip by Resse = 807A (3070) - Verify # with Manufacturer  
1 Floor stop for exterior use for each door shall be 6J FB 38 or lves.  
Silencers for each door  
Glazing stops for this door  
Egress always available.  
1 rim exit device with lever outside = 89L x 89BL-RV x 03 x 268 x 3'-5" by Von Duprin, including one Rim cylinder 20-022.
- Door 101  
3'-0" x 7'-0" door x 1 3/4", (Needs Exterior Grade Paint Finish)  
2 pair Hinges Hager Stainless Steel BHB95 5 x 5 NRP US220. Stainless Steel with SS pin  
1 Closer 4040XP-S-CUSH 888 - By LCN  
1 Threshold - S408A x 3'-0" by Resse or equal  
1 Sweep 323A - x 3'-0" by Resse or equal  
1 ea. Sets Weather-strip by Resse = 807A (3070) - Verify # with Manufacturer  
1 Floor stop for exterior use for each door shall be 6J FB 38 or lves.  
Silencers for each door  
Glazing stops for this door  
Egress always available.  
1 rim exit device with lever outside = 89L x 89BL-RV x 03 x 293 x 3'-0" by Von Duprin including one Rim cylinder 20-022.
- For all new cylinders, key them separately and provide four keys for each cylinder and four master keys that open both cylinders.
- Exterior fascia board on West side at roof edge to be 1 x 8 Cedar, sanded and painted, color by Architect.
- New Windows shall be Kawneer 45MT with insulated safety glazing; dark bronze color framing or approved equal manufacturer and framing system.
- All concrete for footings and foundations shall be 4000 psi
- All new masonry anchors are to be Stainless steel.
- Use "Devilco" mortar not or approved equal for masonry cavity
- Use Metal Era - Perma-Tite snap on aluminum coping system or approved equal, 20 year warranty, overlap ends 8"-9"; continuous cleat system; color selected from Manufacturer's standard color range
- Provide new continuous gutter with downspouts to match existing in size. Color to be selected by Architect and Owner.
- The new curb and gutter section that is to be replaced in accordance with Urbana Codes and design regulations/requirements. Curb and gutter replacement must follow existing flow line of the street and match in size and configuration.
- The aluminum suspended canopy at the front entrance is noted as 3'-0" x 6'-0" wide. Acceptable manufacturers are Perfection Architectural Systems, Inc of Orlando, FL and Mayes Architectural Composites of Lincoln, NE. GC to provide shop drawings prepared by the manufacturer to indicate all required materials and methods of connectivity to the Building for a complete installation. Color to be anodized bronze. Fasteners shall be stainless steel.

General Notes:

- All bidders must visit the site to become familiar with the conditions and site constraints prior to bidding. Questions or discrepancies in the Contract Documents will be brought to the attention of the Architect and shall be revised by Addendum.
- The Building is load bearing masonry exterior load with wood truss and 2 x wood roof framing system and EPDM roof. It is intended that the roofing and new insulation be replaced under another project by the Owner.
- Contractor shall provide insurance certificates and shall meet the requirements of the City of Urbana to perform business in the City.
- Contractor shall apply for and obtain all necessary permits from the City of Urbana to perform the work indicated in these documents.
- Contractor shall be responsible for safety and security of the jobsite and stored materials until such time as the security of the building can be turned over to the Owner. Safety of the construction site and building area and security of the building materials shall remain the responsibility of the contractor through the end of final completion.
- Contractor is not required to provide a bid bond. All contractors performing work on this project must be properly licensed with the City of Urbana and State of Illinois.
- There will be no new mechanical/HVAC or plumbing work in this project.
- Contractor is responsible for the design and construction of the temporary shoring of the building as required to remove and replace the masonry work noted on the documents.
- All existing exits and entrances shall be maintained in use. Access to the building through the front (North) entrance shall be maintained during construction by means of access through the temporary enclosure.
- Contractor shall provide \$500 allowance for light fixtures to be selected by Owner/Architect.

Exhibit E



REVISIONS	BY

**Merritt Building Masonry Restoration**

Renovation  
323 West Chicago  
Urbana, Illinois 61801

**RSA** Residential Studio Architecture LLC  
1000 Myrtlewood Drive, Champaign, Illinois 61822  
PH: 219.244.1111 FAX: 219.244.1113

DRAWN
CHECKED
DATE 9.16.19
SCALE
JOB NO. 1403
SHEET A-5



**MINUTES OF A REGULAR MEETING  
URBANA ZONING BOARD OF APPEALS**

**DATE:** March 16, 2016

**DRAFT**

**TIME:** 7:30 p.m.

**PLACE:** City Council Chambers, 400 South Vine Street, Urbana, IL 61801

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**MEMBERS PRESENT** Matt Cho, Ashlee McLaughlin, Nancy Uchtmann, Charles Warmbrunn, Jonah Weisskopf, Harvey Welch

**MEMBERS EXCUSED** Joanne Chester

**STAFF PRESENT** Lorrie Pearson, Planning Manager; Kevin Garcia, Planner II; Teri Andel, Administrative Assistant II

**OTHERS PRESENT** Maritza Chavez, Nola Flynn, Alyssa Jaje, Kendra Kuenum, Geoffrey Merritt

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**NEW PUBLIC HEARINGS**

**ZBA-2016-MAJ-01 – A request by Geoffrey Merritt for a Major Variance to install a front canopy that will encroach seven feet into the required front yard at 303 West Griggs Street in the B-1, Neighborhood Business Zoning District.**

Chair Welch opened the public hearing for this case.

Kevin Garcia, Planner II, presented this case to the Zoning Board of Appeals. He began by stating the purpose for the proposed variance. He gave a brief background on the history of the proposed site and reviewed the variance criteria from Section XI-3 of the Urbana Zoning Ordinance. He read the options of the Zoning Board of Appeals and presented City staff’s recommendation for approval with one condition.

Chair Welch opened the hearing up for questions for City staff.

Lorrie Pearson, Planning Manager, stated that City staff would like to add “general” to the condition so that it reads as such, “*The canopy shall be built in general conformance with the plans provided by the applicant in Exhibit E.*” This allows for minor changes to meet the Building Code, for example.

With there being no questions for City staff, Chair Welch opened the hearing for public input. He invited the applicant to approach to speak.

Geoffrey Merritt approached the Zoning Board of Appeals. He stated that he did not have anything further to add; however, he would answer any questions from the Board members.

Ms. Uchtmann asked how long a canopy would stay in good condition. Mr. Merritt replied that the proposed canopy would be made out of steel instead of canvas and would be built into the building. He did not know how long steel canopies last but anticipated it would last a long time.

With there being no further questions, Chair Welch asked if anyone else in the audience wished to speak. With no further public input, Chair Welch closed this portion of the hearing. He, then, opened the hearing for Zoning Board of Appeals discussion and/or motion(s).

Mr. Warmbrunn moved that the Zoning Board of Appeals forward Case No. ZBA-2016-MAJ-01 to the City Council with a recommendation for approval with the condition as amended during this meeting by City staff. Ms. Uchtmann seconded the motion. Roll call on the motion was as follows:

Mr. Cho	-	Yes	Ms. McLaughlin	-	Yes
Ms. Uchtmann	-	Yes	Mr. Warmbrunn	-	Yes
Mr. Weisskopf	-	Yes	Mr. Welch	-	Yes

The motion passed by unanimous vote. Mr. Garcia noted that the case would be forwarded to the Urbana City Council on March 21, 2016.

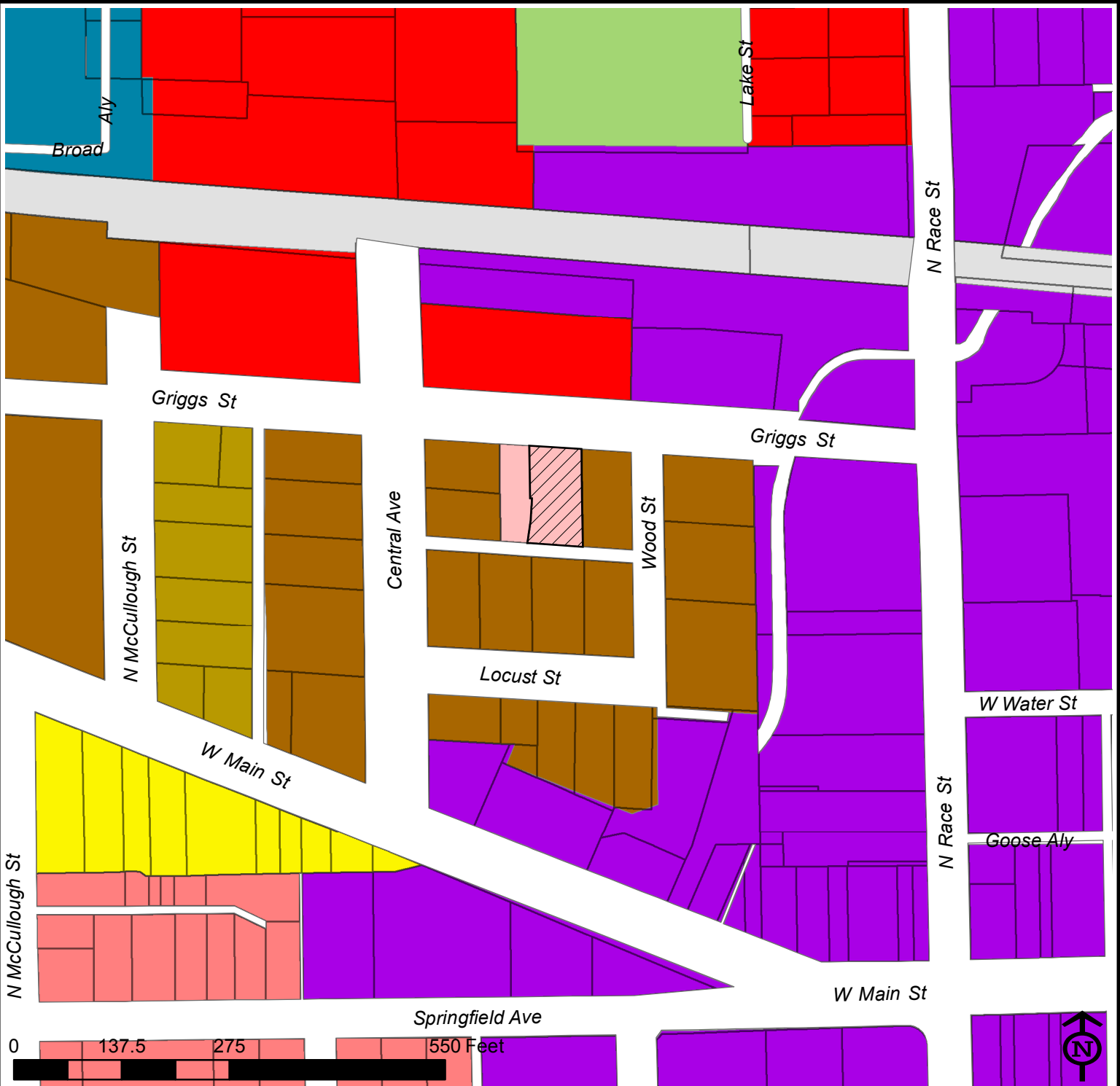
# Exhibit A: Location & Existing Land Use Map







Case: ZBA-2016-MAJ-01  
 Subject: Parking Variance  
 Location: 303 W Griggs St  
 Petitioners: Geoff Merritt

 Subject Property

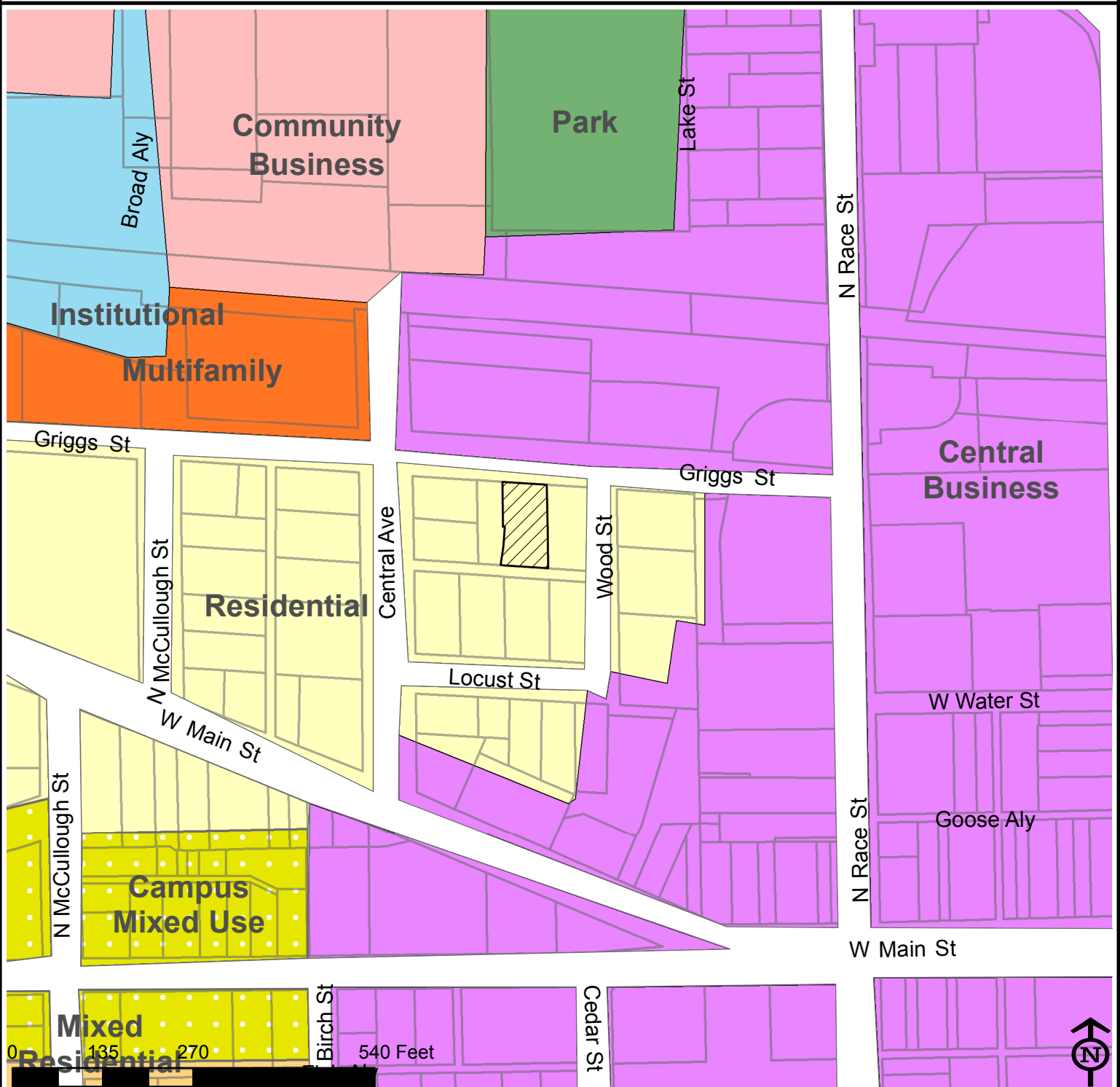
# Exhibit B: Zoning Map



Case: ZBA-2016-MAJ-01  
 Subject: Parking Variance  
 Location: 303 W Griggs St  
 Petitioners: Geoff Merritt

- |                                                                                                        |                                                                                            |                                                                                           |                                                                                          |
|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
|  B1                |  B4   |  MIC |  R5 |
|  B2                |  CRE  |  R2  |                                                                                          |
|  B3                |  IN-1 |  R4  |                                                                                          |
|  Subject Property |                                                                                            |                                                                                           |                                                                                          |

# Exhibit C: Future Land Use Map



Case: ZBA-2016-MAJ-01  
 Subject: Parking Variance  
 Location: 303 W Griggs St  
 Petitioners: Geoff Merritt

- Residential
- Community Business
- Mixed Residential
- Central Business
- Multi-Family Residential
- Institutional
- Campus Mixed Use
- Park
- Subject Property



# Application for Variance

RECEIVED FEB 04 2016  
by JA

## APPLICATION FEE – \$175.00 (Major) and \$150.00 (Minor)

The Applicants are responsible for paying the cost of legal publication fees as well. The fees usually run from \$75.00 to \$125.00. The applicant is billed separately by the News-Gazette.

### DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Date Request Filed 02-04-2016 ZBA Case No. ZBA-2016-MAJ-01  
Fee Paid - Check No. \_\_\_\_\_ Amount \_\_\_\_\_ Date \_\_\_\_\_

### PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION

A VARIATION is requested in conformity with the powers vested in the Zoning Board of Appeals to permit (*Insert Use/Construction Proposed and the Type and Extent of Variation Requested*) a canopy on the property described below, and in conformity with the plans described on this variance request.

#### 1. APPLICANT CONTACT INFORMATION

Name of Applicant(s): **Geoffrey Merritt** Phone: **217-621-1289**  
Address (*street/city/state/zip code*): **303 W Griggs Street, Urbana, IL 61801**  
Email Address: **geoff@parasol.com**  
Property interest of Applicant(s) (*Owner, Contract Buyer, etc.*): **co-owner**

#### 2. OWNER INFORMATION

Name of Owner(s): **Geoffrey / Christopher Merritt** Phone: **217-621-1289**  
Address (*street/city/state/zip code*): **905 S Lynn Street, Urbana, IL 61801**  
Email Address: **geoff@parasol.com**

Is this property owned by a Land Trust?  Yes  No  
*If yes, please attach a list of all individuals holding an interest in said Trust.*

#### 3. PROPERTY INFORMATION

Location of Subject Site: **303 W Griggs Street, Urbana, IL 61801**  
PIN # of Location: **91 21 08 383 004**  
Lot Size: **21,760 SF**

Current Zoning Designation: **B1**

Current Land Use (*vacant, residence, grocery, factory, etc*): **retail/warehouse**

Proposed Land Use: **retail/warehouse**

Legal Description: Parts of Lots 11 (as Plat Record recorded in Deed Record 19 at Page 285)  
and 12 (as Plat Record recorded in Deed Record 19 at Page 285) in S.T. Busey's Addition to  
Urbana, in Champaign County, Ill

**4. CONSULTANT INFORMATION**

**Name of Architect(s): Rodney D. Reid AIA** Phone: **217-390-7403**

Address (*street/city/state/zip code*): **1904 Byrnebruk Drive, Champaign, Illinois 61822**

Email Address: **rod.reid@comcast.net**

**Name of Engineers(s):** Phone:

Address (*street/city/state/zip code*):

Email Address:

**Name of Surveyor(s):** Phone:

Address (*street/city/state/zip code*):

Email Address:

**Name of Professional Site Planner(s):** Phone:

Address (*street/city/state/zip code*):

Email Address:

**Name of Attorney(s): Webber & Thies** Phone: **217-367-1126**

Address (*street/city/state/zip code*): **202 Lincoln Square, Urbana, IL 61801**

Email Address:

**5. REASONS FOR VARIATION**

Identify and explain any special circumstances or practical difficulties in carrying out the strict application of the Zoning Ordinance with respect to the subject parcel.

We intend to renovate and restore the facade of the building in order to preserve it's  
character and place in the neighborhood as well as being able to continue and increase it's  
use. We hope to put a small canopy over the main front entrance.

Explain how the variance is necessary due to special conditions relating to the land or structure involved which are not generally applicable to other property in the same district.

With the development just east of us (208 W Griggs) and the various projects on Race Street (between University and Water), the nature of the neighborhood (and Griggs Street in particular) is changing considerably – more foot-traffic and businesses. There are no other B1 businesses in this area but the building 100 feet to the North-East (204 E Griggs St) is in the B4 district with more relaxed requirements.

Explain how the variance is not the result of a situation or condition that was knowingly or deliberately created by you (the Petitioner).

The building has had its current footprint for considerably longer than we've owned it but it had never been used for retail until recently – which we got a special variance for. With the current remodeling plans we are hoping for another variance.

Explain why the variance will not alter the essential character of the neighborhood.

The apartments and the new African specialty grocery store across the street have canopys – each of which makes their respective buildings more attractive in the neighborhood. Overall, the neighborhood will look considerably better once the restoration of our building is done – and the canopy is an integral part of that.

Explain why the variance will not cause a nuisance to adjacent property.

The nature of our business will not change very much – we will continue being a neighborhood business with primarily foot and bike traffic. The addition of a canopy will not change the neighborhood at all.

Does the variance represent the minimum deviation necessary from the requirements of the Zoning Ordinance? Explain.

This request represents the minimum deviation for the requirements of the zoning ordinance.



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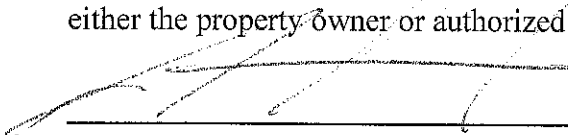
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**NOTE:** *If additional space is needed to accurately answer any question, please attach extra pages to the application.*

***By submitting this application, you are granting permission for City staff to post on the property a temporary yard sign announcing the public hearing to be held for your request.***

**CERTIFICATION BY THE APPLICANT**

I certify all the information contained in this application form or any attachment(s), document(s) or plan(s) submitted herewith are true to the best of my knowledge and belief, and that I am either the property owner or authorized to make this application on the owner's behalf.

  
\_\_\_\_\_

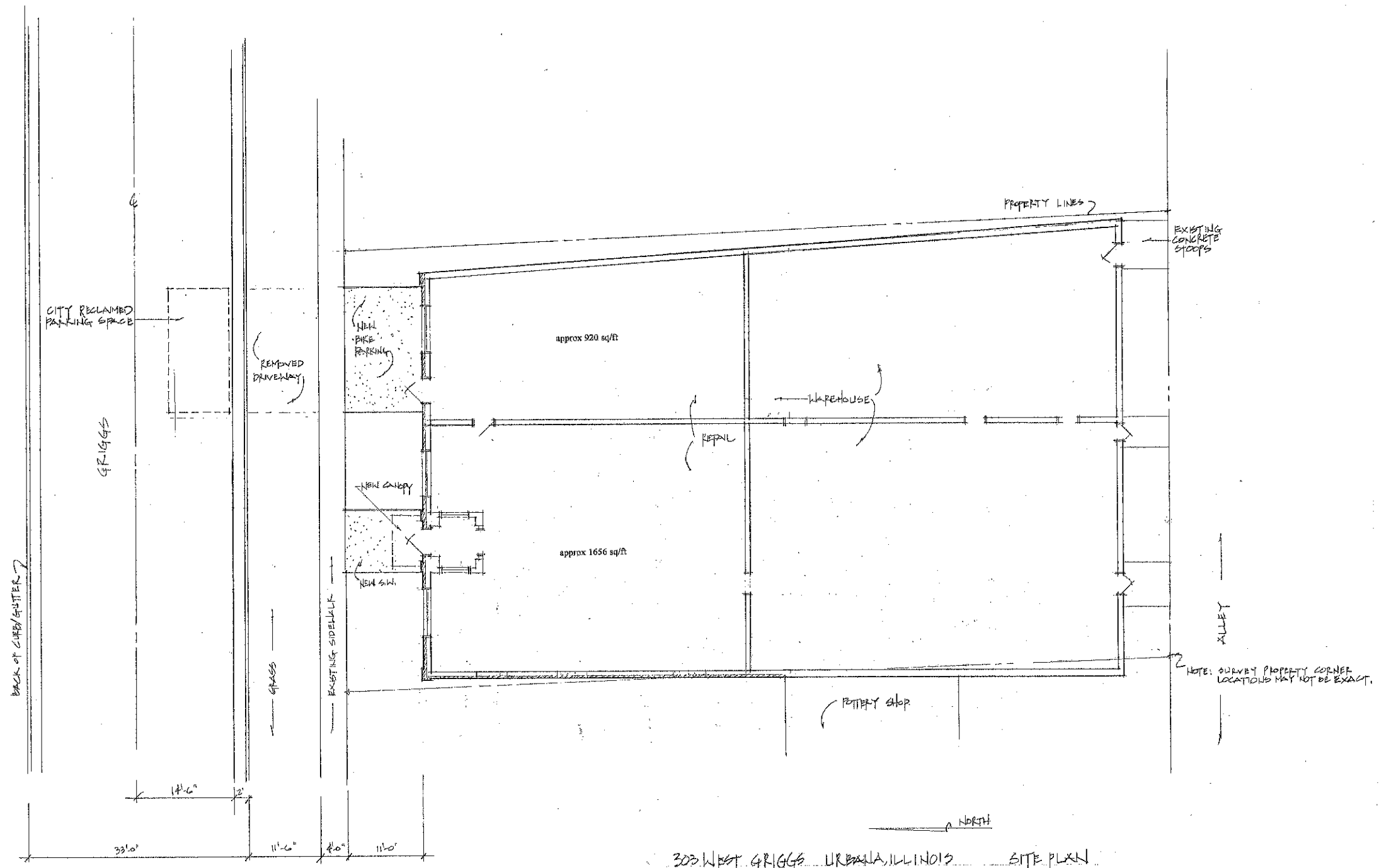
Applicant's Signature

2-3-16

Date

**PLEASE RETURN THIS FORM ONCE COMPLETED TO:**

City of Urbana  
Community Development Department Services  
Planning Division  
400 South Vine Street, Urbana, IL 61801  
Phone: (217) 384-2440  
Fax: (217) 384-2367



303 WEST GRIGGS URBANA, ILLINOIS SITE PLAN  
 1/8" = 1'-0"

REVISIONS	BY

**Merritt Building Masonry Restoration**

Renovation  
 303 West Griggs  
 Urbana, Illinois 62580

RSA Field, Studio, Architecture, LLC  
 1004 Industrial Drive, Champaign, Illinois 61822  
 217-244-7400

DRAWN RDK
CHECKED
DATE 5.25.15
SCALE 1/8" = 1'-0"
JOB NO. 1403
SHEET C-1
OF SHEETS

**Project Scope:**

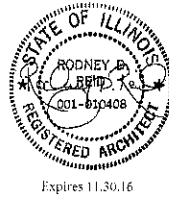
The Project Scope consists of the removal and replacement of the entire front (North) masonry clay tile back-up wall with brick veneer wall and its footing/foundation complete, including all doors, windows, etc. and replacement with new concrete masonry unit back-up with new brick veneer on new foundation. The West and East walls will just have the brick veneer removed and replaced with new brick and minor patching tie-in to the new foundation. New windows and doors will be installed with two new light fixtures.

There will be no new HVAC or Plumbing work.

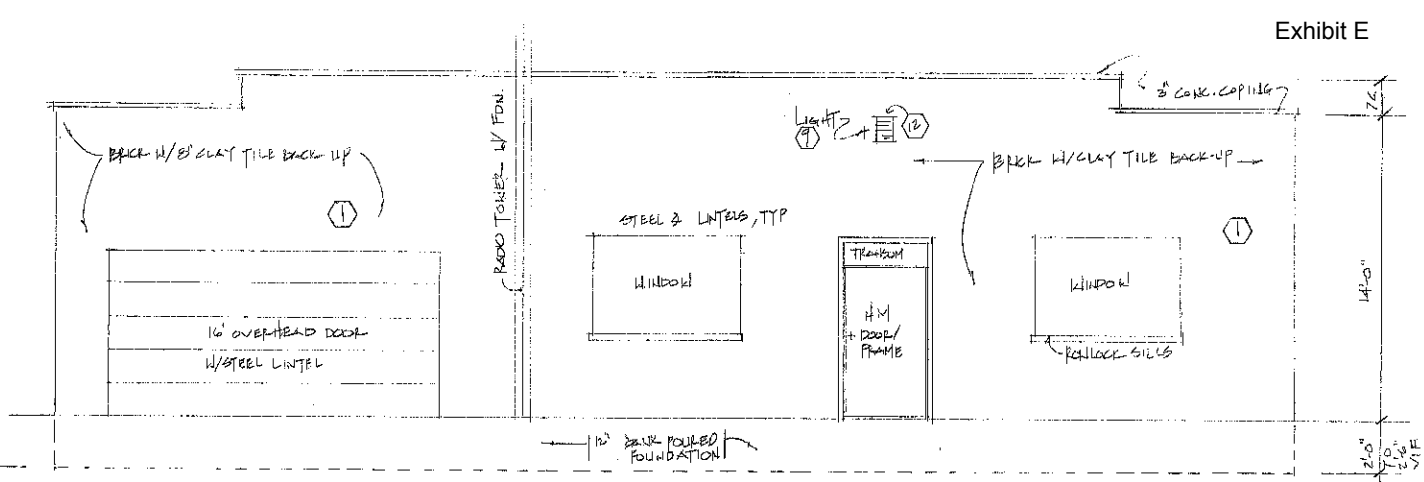
**CODE INFORMATION**

Applicable Codes:

- 1507 Illinois Accessibility Code
- 2009 International Building Code
- 2009 International Mechanical Code - (IMC) - (No new mechanical work included in this project)
- 2008 National Electric Code - (NEC)
- 2014 Illinois Plumbing Code - (IPC) - (No new Plumbing work included in this contract)
- 2012 Illinois Energy Conservation Code



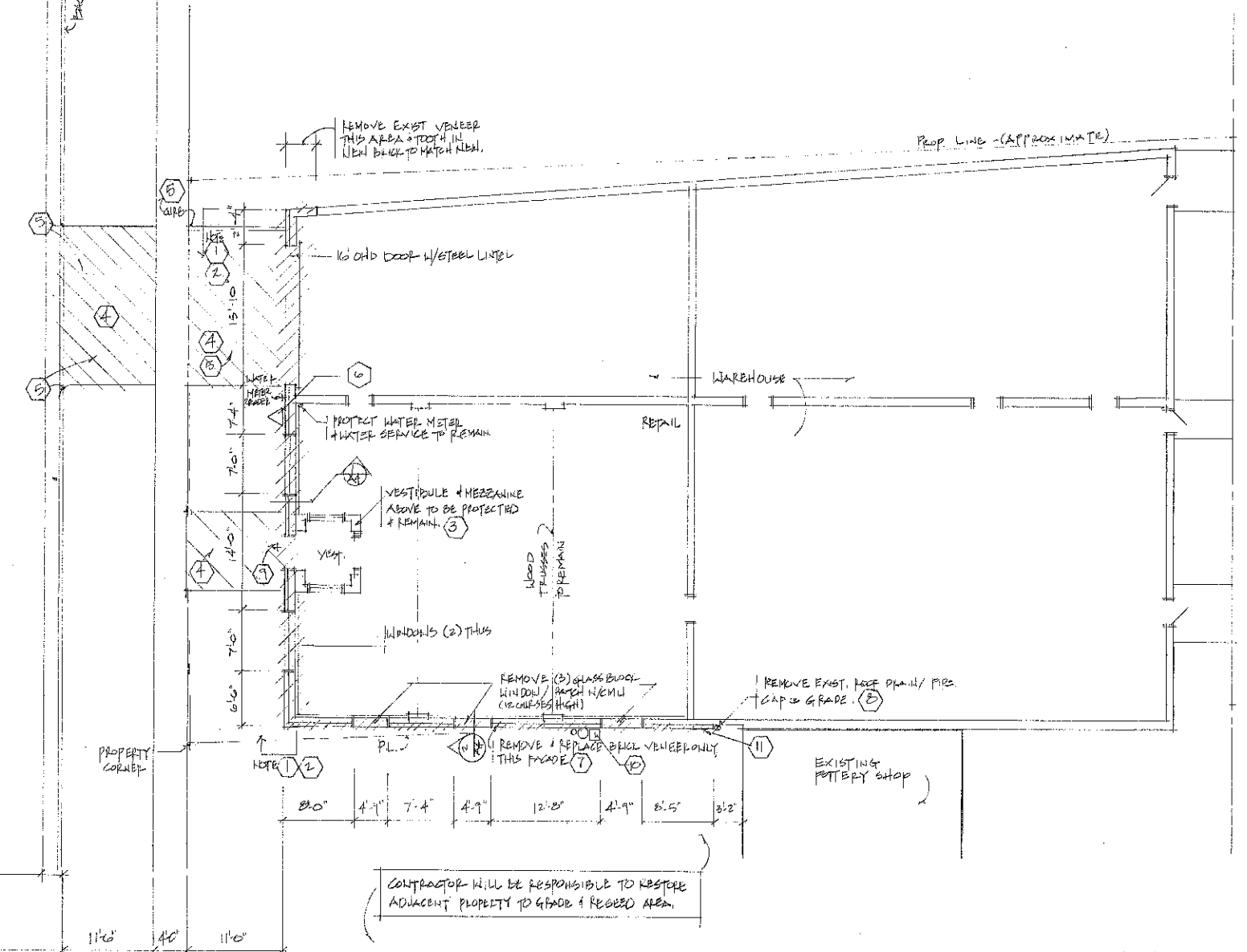
REMOVE ALL CONSTRUCTION OF NORTH FACADE INCLUDING BANK-POURED FDN, BRICK CLAY TILE, WINDOWS, DOORS, ETC. COMPLETE.



SEE PLAN BELOW FOR DEMOLITION & REMOVALS ON EAST & WEST FACADES

**NORTH ELEVATION - EXISTING CONDITIONS - DEMO**  
1/4" = 1'-0"

BACK OF CURB/GUTTER  
GRIGGS STREET  
BACK OF CURB/GUTTER



CONTRACTOR WILL BE RESPONSIBLE TO RESTORE ADJACENT PROPERTY TO GRADE & RESEED AREA.

**SITE PLAN / REMOVALS**  
1/8" = 1'-0"

- Keyed Demolition Notes**
1. Remove Existing Brick veneer with 8" clay tile back-up, complete from the bottom of the bank poured concrete foundation up through and including the 3" concrete coping. See the existing elevation and plan for dimensions. This includes the removal of windows, overhead and rear doors, lights, steel lintels and all associated appearances.
  2. Remove foundation. Test excavation indicates that it is between 2' and 2'-6" deep and bank poured. There is no knowledge of whether or not there is any reinforcing. Saw cut and remove existing sidewalks and driveways.
  3. Protect interior vestibule and wood framed mezzanine and associated stairs. The vestibule is to remain. Patching to ensure that the vestibule and mezzanine remain in use should be included in the bid pricing.
  4. Contractor shall provide dumpsters and properly dispose of all construction debris from removals and construction process.
  5. Remove concrete driveways and sidewalks, and curb along the side of the driveway. Leave compacted sub-base in place for reuse of sidewalks and for bike parking area. Remove base at driveway between City Sidewalk and Street. Excavate slab areas as necessary and add 6" topsoil for planting in new grass area. Contractor will be required to match City of Urbana curb and gutter requirements when patching in that length of curb and gutter.
  6. Remove triangular metal radio tower complete with foundation/footing. There is no record of what is below grade.
  7. Remove brick veneer only on the West facade of the building. The clay tile back-up is intended to remain in place. Remove the (4) courses of 8" x 8" x 4"-8" glass block windows and patch in with cmu to match and then install new brick veneer as shown on the new work elevations. Three locations of glass block.
  8. Remove the roof drain and cap the pipe into the ground for future use.
  9. Remove existing light fixture, junction box and pull wiring back to interior J.B. Use that interior J.B. to supply the two new light fixtures at the entry and the existing vestibule fixture. Install new light switch to operate two exterior fixtures and one switch for the existing interior vestibule fixture.
  10. Remove three existing plastic boxes and associate wiring. Protect existing weather-head and wiring and re-anchor after installation of new brick. Remove other existing abandoned conduit and associated wiring.
  11. Remove three through-wall anchor plates.
  12. Remove existing alarm box and pull associated wire and conduits. Box will not be replaced.

REVISIONS	BY

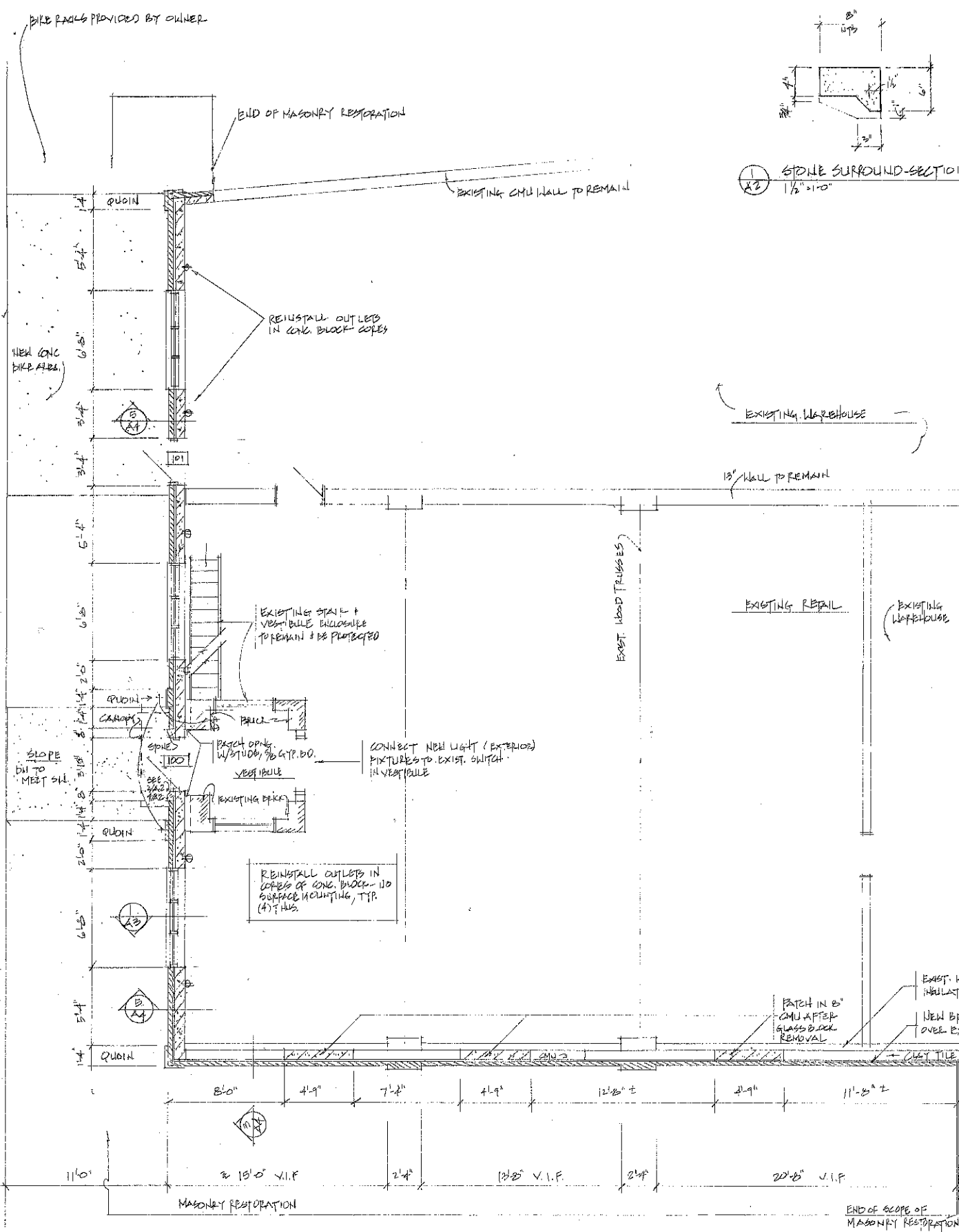
**Merritt Building Masonry Restoration**

Renovation  
303 West Briggs  
Urbana, Illinois 62501

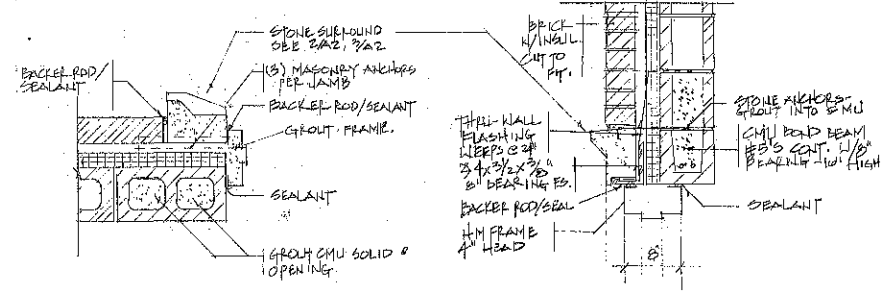
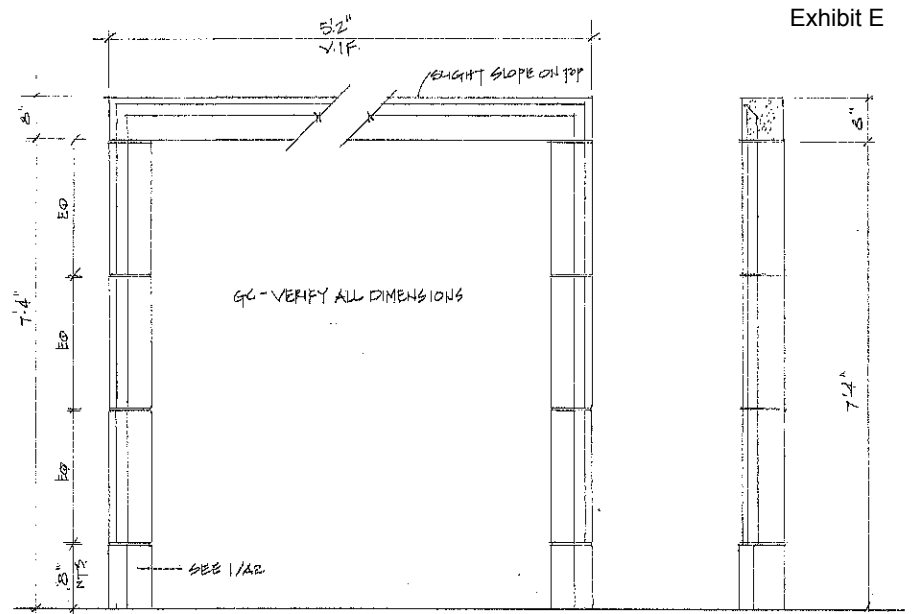
**RSA** Field, Studio, Architecture, LLC  
1504 Hyman Drive, Champaign, Illinois 62522  
731.230.7443

DRAWN RBT
CHECKED
DATE 1.16.15
SCALE 1/8" = 1'-0"
JOB NO. 1403
SHEET <b>A-1</b>

At the beginning of the project, the Contractor shall be responsible to design and install shoring for the existing roof systems on the Retail and Warehouse sides of the project prior to the removal of the masonry that will be replaced. The shoring shall remain in place until the new supporting masonry has reached its supportive strength. The Contractor shall also be responsible to secure the site with weather resistant temporary partitioning including a lockable access door for the Owner's use. This access will need to be coordinated with the Owner and the Contractor and the temporary partitioning may be removed when coordinated with the Architect and Owner.

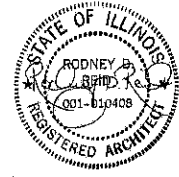


1  
A2  
STONE SURROUND-SECTION  
1/8" = 1'-0"



4  
A2  
ENTRANCE DOOR - JAMB - DOOR 101  
1 1/2" = 1'-0"  
DOOR 101 SIMILAR - NO STONE SURROUND

5  
A2  
ENTRANCE DOOR - HEAD - DOOR 100  
1 1/2" = 1'-0"  
DOOR 101 SIMILAR - NO STONE SURROUND - USE SAME X & HEAD



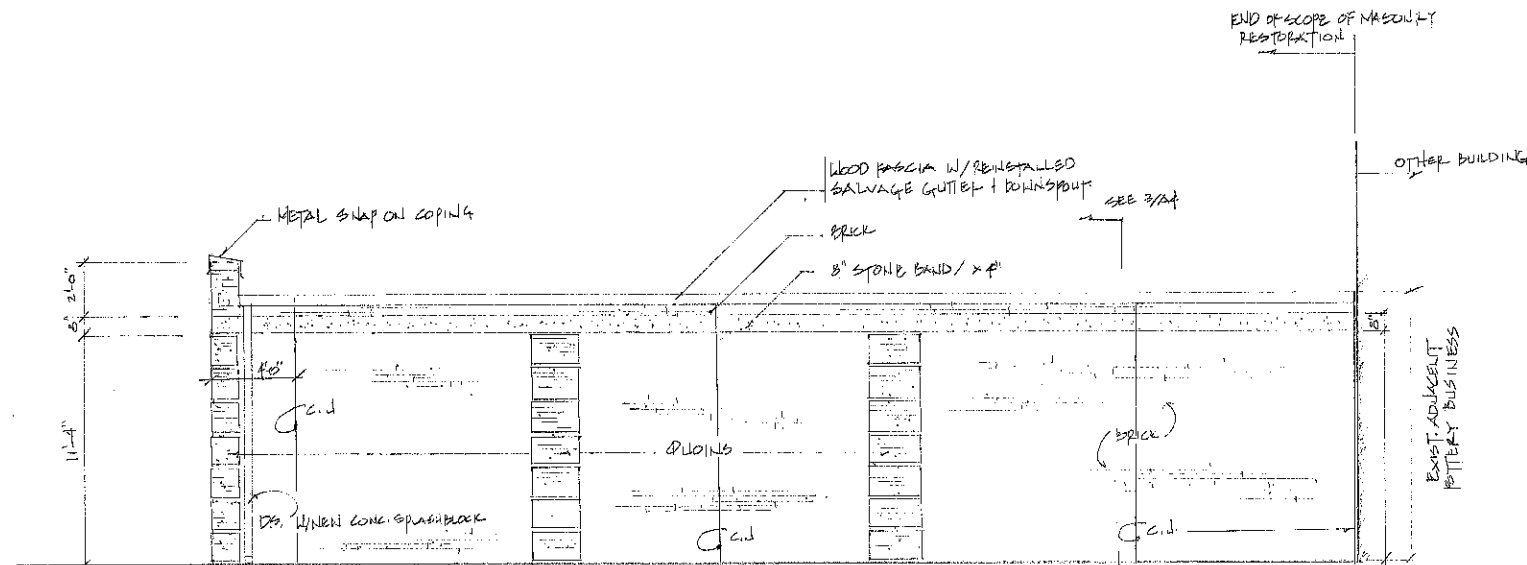
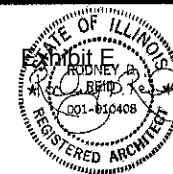
REVISIONS	BY

**Merritt Building Masonry Restoration**

Renovation  
300 West Chicago  
Chicago, Illinois 60610

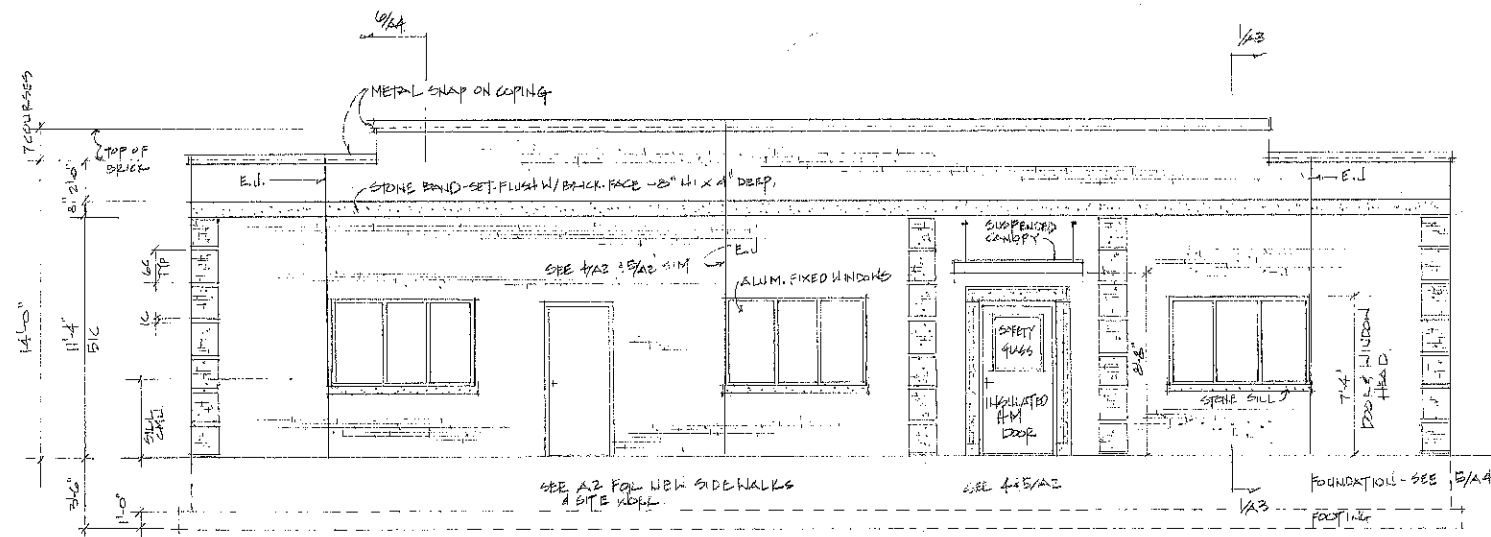
**RSA** Rod Stabin Architecture LLC  
854 North Dearborn, Chicago, Illinois 60622  
773-551-7463

DRAWN RDR
CHECKED
DATE 9.16.15
SCALE 1/8" = 1'-0" / 3/4" = 1'-0" / 1" = 1'-0"
JOB NO. 1403
SHEET A-2
OF SHEETS

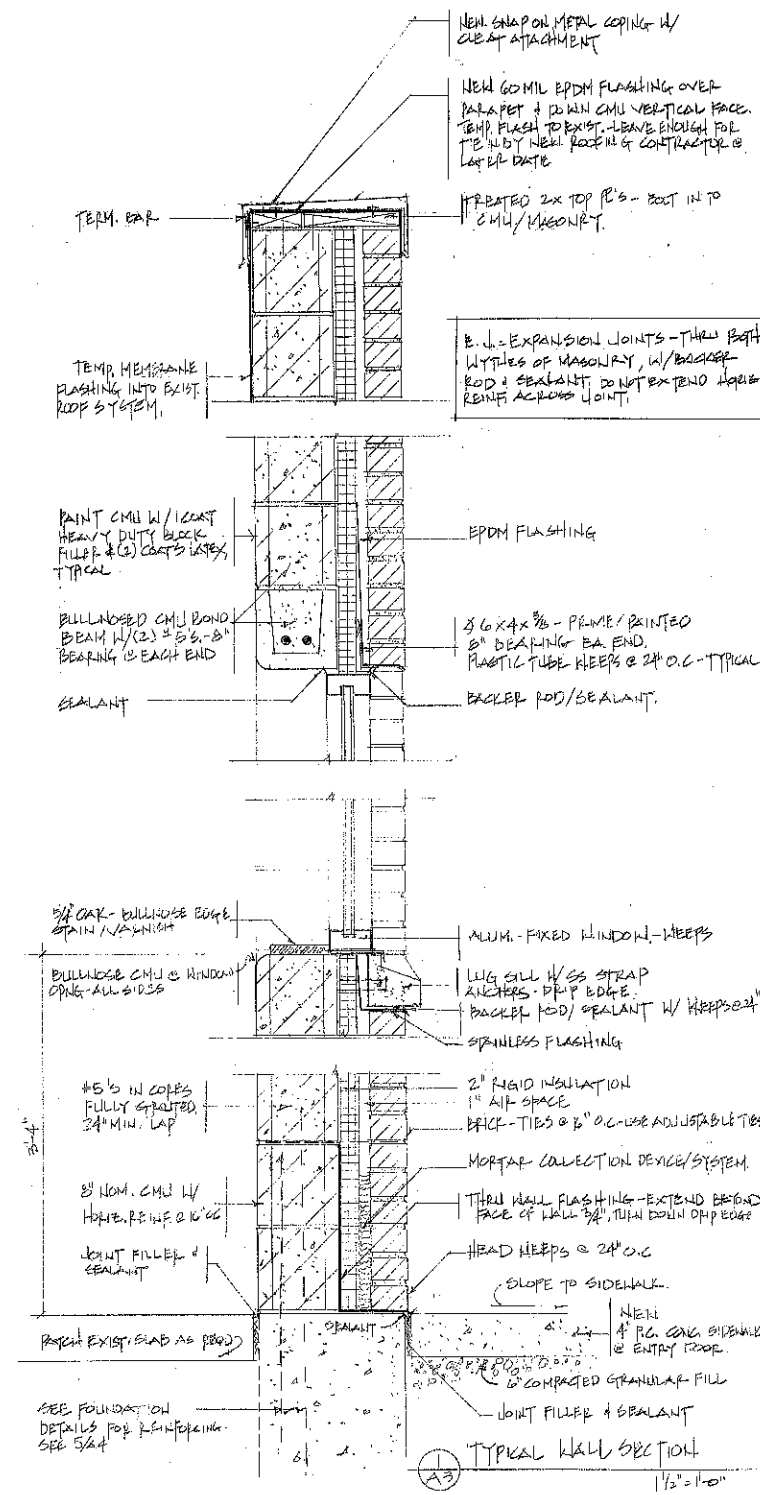


WEST ELEVATION  
1/4"=1'-0"

C.J. = CONTROL JOINT - BACKER ROD & SEALANT - THREE BRICK WYTHES ONLY.



NORTH ELEVATION  
1/4"=1'-0"



NEW SNAP ON METAL COPING W/ GREAT ATTACHMENT

NEW 60 MIL EPDM FLASHING OVER PARAPET & DOWN CMU VERTICAL FACE. TEMP. FLASH TO EXIST. LEAVE ENOUGH FOR THE SUB. NEW FLASHING & CONTRACTOR TO LAY UP DATE

PREPARED 2X TOP R'S - BOOT IN TO CMU/MASONRY.

TEMP. MEMBRANE FLASHING INTO EXIST. ROOF SYSTEM.

E.J. = EXPANSION JOINTS - THREE BRICK WYTHES OF MASONRY, W/ BACKER ROD & SEALANT. DO NOT EXTEND ABOVE ROOF ACROSS JOINT.

PAINT CMU W/ 1 COAT HEAVY DUTY BLOCK FILLER & (2) COATS LATEX TYPICAL

BULLDOSE CMU BOND BEAM W/ (2) 5/8" x 5/8" BEARING @ EACH END

SEALANT

EPDM FLASHING

3/4" x 4" x 3/8" - PRIME / PAINTED 5" BEARING @ EA. END. PLASTIC TUBE - KEEPS @ 24" O.C. TYPICAL

BACKER ROD / SEALANT.

1/2" OAK - BULLDOSE EDGE STAIN / VARNISH

BULLDOSE CMU @ WINDOW OPNG - ALL SIDES

ALUM. FIXED WINDOW - KEEPS

LOG GILL W/ SS STRAP ANCHERS - DRIP EDGE

BACKER ROD / SEALANT W/ KEEPS @ 24"

STAINLESS FLASHING

#5'S IN CORES FULLY GRADED 24" MIN. LAP

3" NOM. CMU W/ HORIZ. REIN @ 16" O.C.

JOINT FILLER & SEALANT

2" RIGID INSULATION 1" AIR SPACE BRICE - TIES @ 16" O.C. - USE ADJUSTABLE TIES

MORTAR COLLECTION DEVICE / SYSTEM

THRU WALL FLASHING - EXTEND BEYOND FACE OF WALL 3/4", TURN DOWN ON EDGE

HEAD KEEPS @ 24" O.C.

W/ COMPACTED GRANULAR FILL

NEW 4" PC CONC. SIDEWALK @ ENTRY TROOP

SEE FOUNDATION DETAILS FOR REINFORCING - SEE 5/4/4

NEW FOOTING MUST BEAR ON COMPACTED SOIL - SEE 5/4/4

TYPICAL WALL SECTION  
1 1/2"=1'-0"

REVISIONS	BY

**Merritt Building Masonry Restoration**

Renovation  
1700 N. Dearborn Street  
Chicago, Illinois 60610

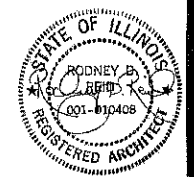
**RSA** Real Studio Architecture, LLC  
1000 Broadway Drive, Chicago, Illinois 60622  
312.467.8888

DRAWN
CHECKED
DATE 9.10.15
SCALE 1/4"=1'-0" / 1 1/2"=1'-0"
JOB NO. 14033
SHEET
<b>A-3</b>
CP SHEETS

REVISIONS	BY

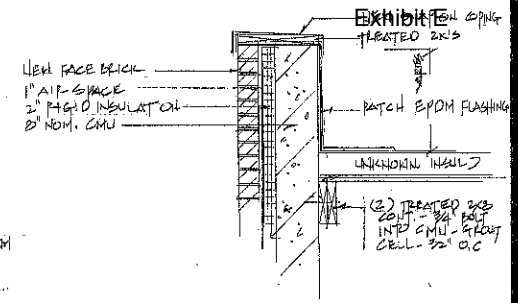
Renovation  
333 West Chicago  
Urbana, Illinois 61801

**Merritt Building Masonry Restoration**

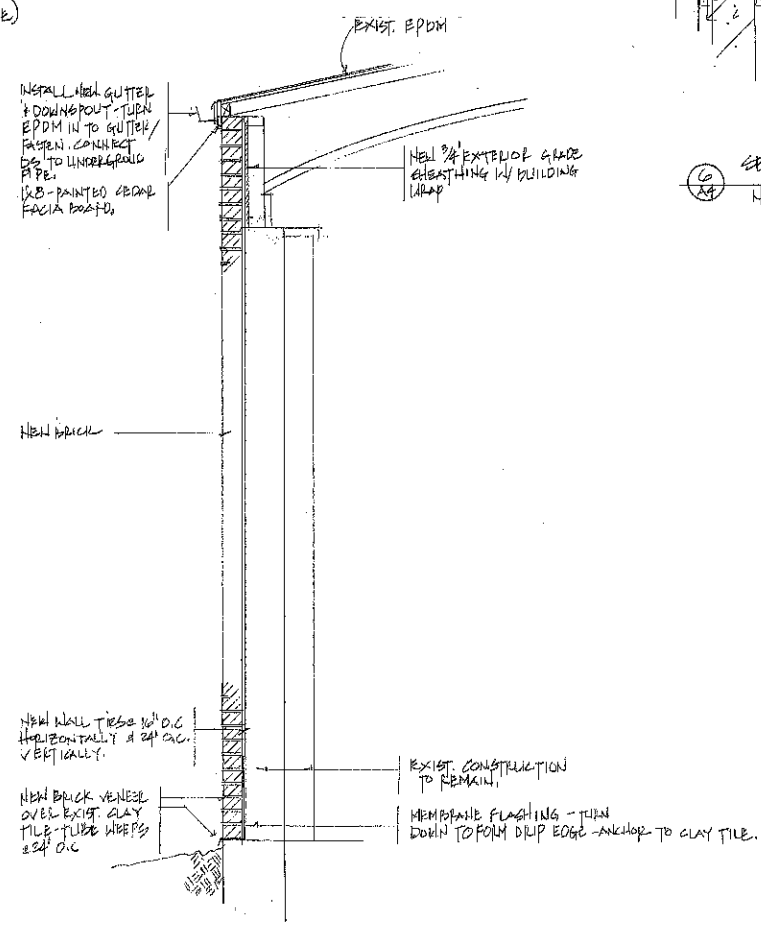


**RSA** Reed, Shultz, Architects, LLC  
 2901 Spryford Drive, Champaign, Illinois 61822  
 217-245-1433

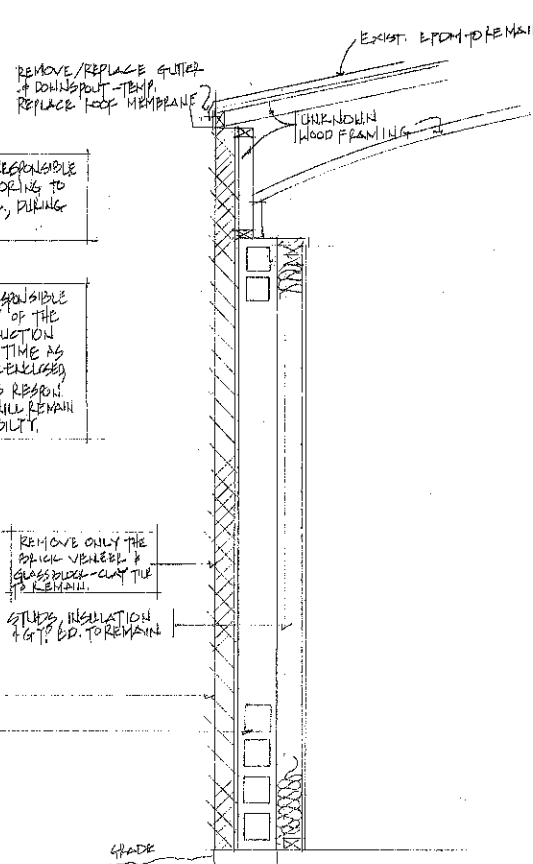
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CHECKED
DATE 9.16.15
SCALE 3/4" = 1'-0"
JOB NO. 4003
SHEET <b>A-4</b>
OF 8 SHEETS



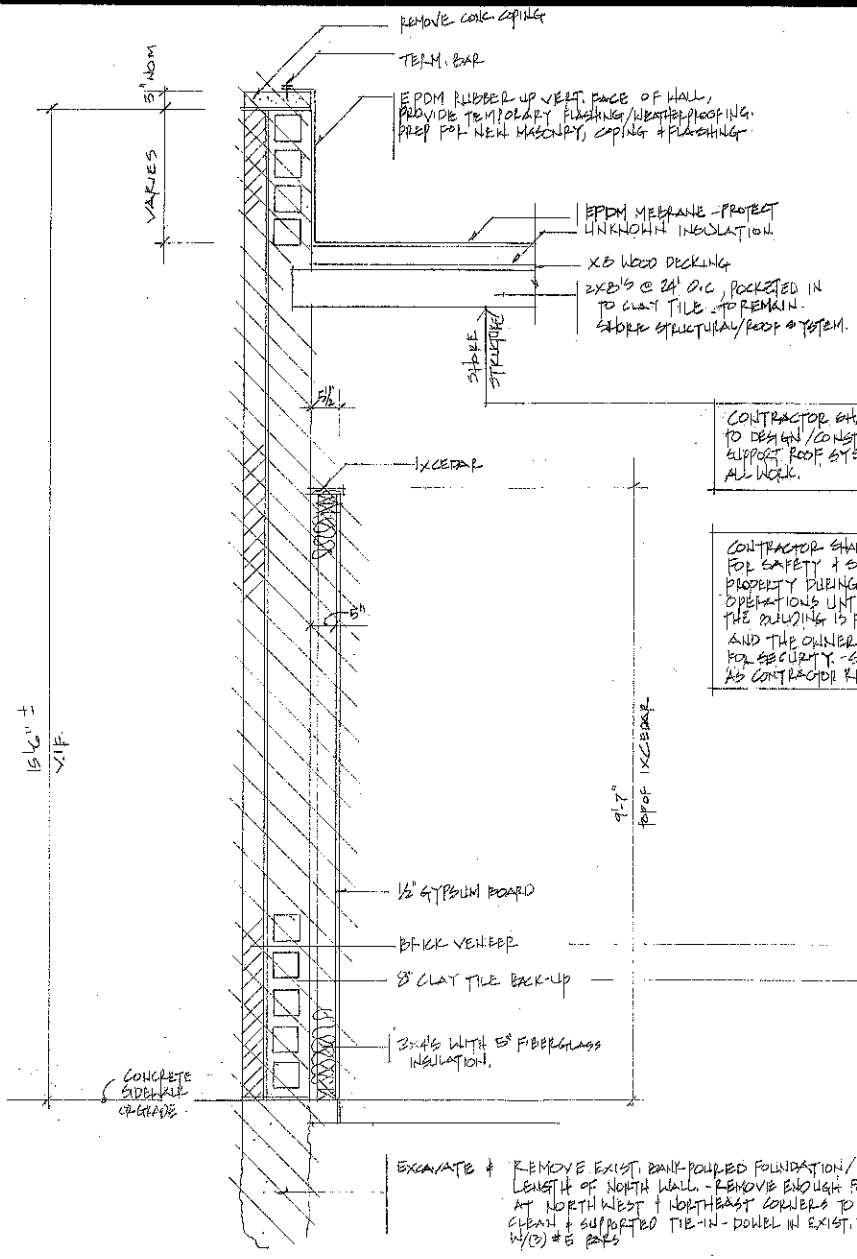
SECTION C WAREHOUSE  
NORTH WALL 3/4" = 1'-0"



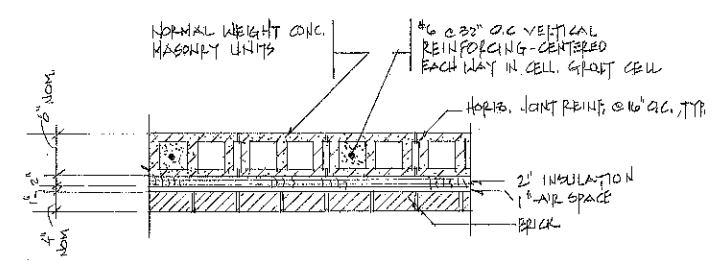
WEST WALL - NEW WORK



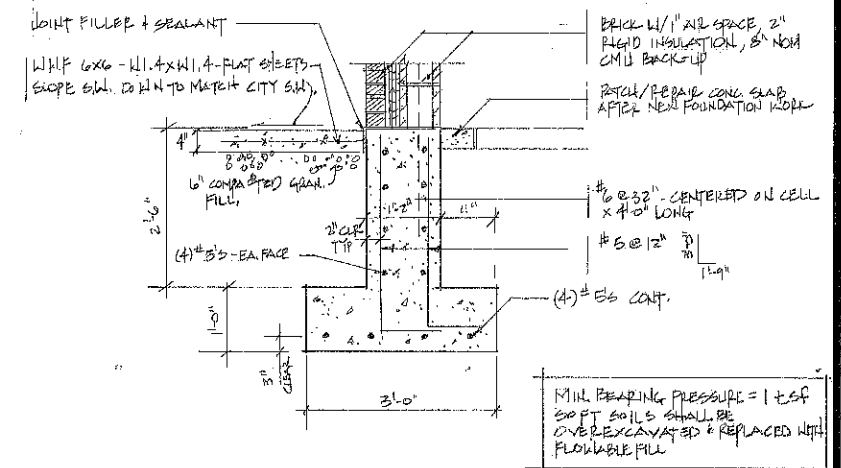
WEST WALL - EXISTING CONDITION/REMOVALS



TYPICAL NORTH WALL - EXISTING CONDITION W/ REMOVALS



SECTION THROUGH TYPICAL EXTERIOR WALL  
1/8" SCALE



TYPICAL NEW FOOTING -  
3/4" = 1'-0"

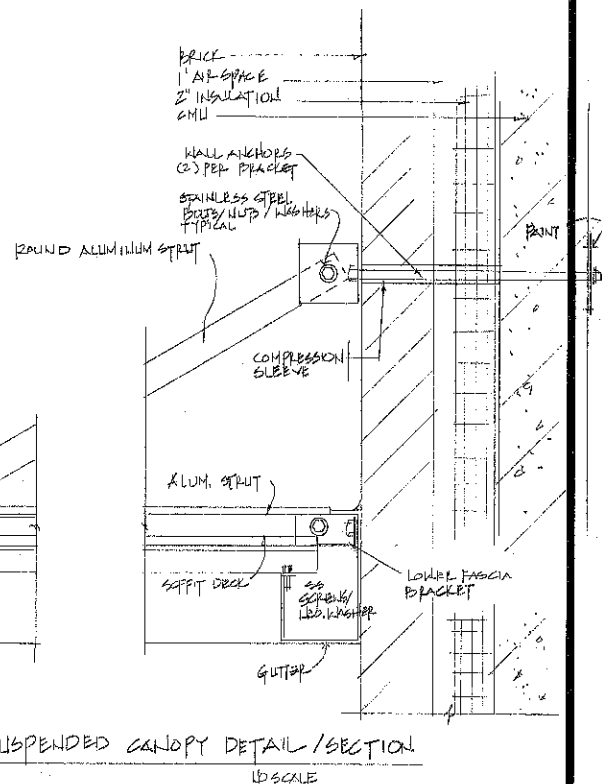
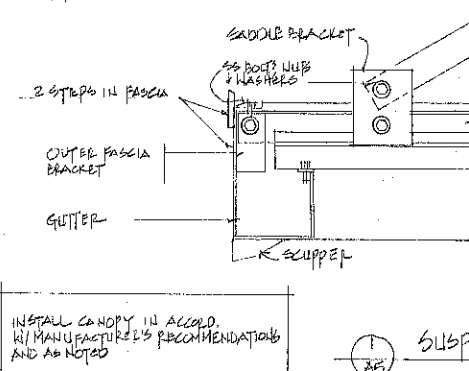
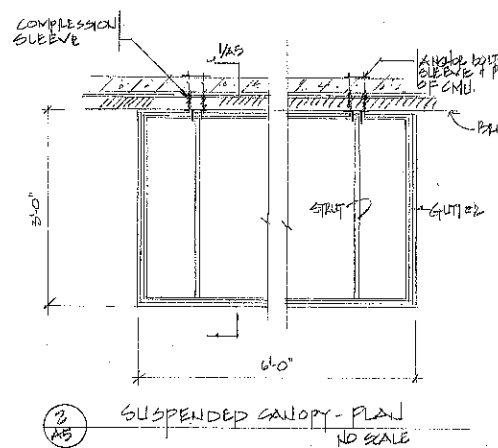
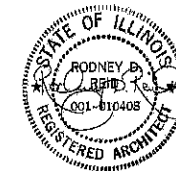
Specification Items:

- All materials are to be installed in accordance with the Manufacturer's installation recommendations unless otherwise noted. Any substitutions shall be applied for and approved prior to the receipt of bids.
- Cast stone shall meet the requirements of ASTM C1364 for the Cast Stone Institute. All stone anchors shall be 304 stainless steel. Flashing of stone shall be Teflon system or approved system. Color shall be from Manufacturer's standard colors in the buff range. Owner and Architect to select. Joints in stone and stone to brick shall be 3/8" with becker rod and sealant. Flash at all stone banding, sills and surround. Install plastic tube weeps at 24" a.c. typical.
- The brick used will be selected by the Architect and Owner at a later date. For bidding purposes, the contractor shall figure an allowance of \$800 per thousand brick.
- Cavity wall insulation to be Styrofoam Cavity Meta board or Foamular 250 by JLC Industries.
- Gypsum Board Drywall 5/8" fire code impact resistant Gypsum Board, to patch at the entry and 1/2" at other walls as required.
- Exterior Sealants and Interior Caulking: Tremco, Sarnoborn NP-1 exterior grade as basis of design.
- Paint: For CMU use Heavy Body Black filler and two coats Latex Paint Confirm all colors with Architect. Use Sherwin Williams/MAB or Benjamin Moore as acceptable products.
- Stain and varnish: new 5/4" oak sills, color to be selected by Architect with clear satin finish. Use Sherwin Williams/MAB or Benjamin Moore as acceptable products. Provide samples for Architect's review prior to start of finishing.
- New exterior doors shall be hollow metal insulated Extra Heavy Duty, 1 3/4" thick, composite construction; foam insulating core bonded to both faces; 16 gauge steel face sheets; .60 oz./sq galvanized coating. HM frames to be 14 gauge steel; 1.25 oz./sq galvanized coating. Provide three anchors per jamb for installation into masonry walls.
- Exterior Doors: by Stecraft, Durries  
Door 100  
3'-6" x 7'-0" door x 1 3/4", w/ safety glass fits as shown (Needs Exterior Grade Paint Finish)  
2 pair Hinges Hager Stainless Steel BHB95 5 x 5 NRP US220. Stainless Steel with SS pin  
1 Closer 4040XP-S-CUSH 888 - By LCN  
1 Threshold - S408A x 3'-6" by Resse or equal  
1 Sweep 323A - x 3'-6" by Resse or equal  
1 ea. Sets Weather-strip by Resse = 807A (3070) - Verify # with Manufacturer  
1 Floor stop for exterior use for each door shall be 6J FB 38 or lves.  
Silencers for each door  
Glazing stops for this door  
Egress always available.  
1 rim exit device with lever outside = 89L x 89BL-RV x OS x 268 x 3'-5" by Von Duprin, including one Rim cylinder 20-022.
- Door 101  
3'-0" x 7'-0" door x 1 3/4", (Needs Exterior Grade Paint Finish)  
2 pair Hinges Hager Stainless Steel BHB95 5 x 5 NRP US220. Stainless Steel with SS pin  
1 Closer 4040XP-S-CUSH 888 - By LCN  
1 Threshold - S408A x 3'-0" by Resse or equal  
1 Sweep 323A - x 3'-0" by Resse or equal  
1 ea. Sets Weather-strip by Resse = 807A (3070) - Verify # with Manufacturer  
1 Floor stop for exterior use for each door shall be 6J FB 38 or lves.  
Silencers for each door  
Glazing stops for this door  
Egress always available.  
1 rim exit device with lever outside = 89L x 89BL-RV x OS x 293 x 3'-0" by Von Duprin including one Rim cylinder 20-022.
- For all new cylinders, key them separately and provide four keys for each cylinder and four master keys that open both cylinders.
- Exterior fascia board on West side at roof edge to be 1 x 8 Cedar, sanded and painted, color by Architect.
- New Windows shall be Kawneer 45MT with insulated safety glazing; dark bronze color framing or approved equal manufacturer and framing system.
- All concrete for footings and foundations shall be 4000 psi
- All new masonry anchors are to be Stainless steel.
- Use "Devilco" mortar not or approved equal for masonry cavity
- Use Metal Era - Perma-Tite snap on aluminum coping system or approved equal, 20 year warranty, overlap ends 8"-9"; continuous cleat system; color selected from Manufacturer's standard color range
- Provide new continuous gutter with downspouts to match existing in size. Color to be selected by Architect and Owner.
- The new curb and gutter section that is to be replaced in accordance with Urbana Codes and design regulations/requirements. Curb and gutter replacement must follow existing flow line of the street and match in size and configuration.
- The aluminum suspended canopy at the front entrance is noted as 3'-0" x 6'-0" wide. Acceptable manufacturers are Perfection Architectural Systems, Inc of Orlando, FL and Mayes Architectural Composites of Lincoln, NE. GC to provide shop drawings prepared by the manufacturer to indicate all required materials and methods of connectivity to the Building for a complete installation. Color to be anodized bronze. Fasteners shall be stainless steel.

General Notes:

- All bidders must visit the site to become familiar with the conditions and site constraints prior to bidding. Questions or discrepancies in the Contract Documents will be brought to the attention of the Architect and shall be revised by Addendum.
- The Building is load bearing masonry exterior load with wood truss and 2 x wood roof framing system and EPDM roof. It is intended that the roofing and new insulation be replaced under another project by the Owner.
- Contractor shall provide insurance certificates and shall meet the requirements of the City of Urbana to perform business in the City.
- Contractor shall apply for and obtain all necessary permits from the City of Urbana to perform the work indicated in these documents.
- Contractor shall be responsible for safety and security of the jobsite and stored materials until such time as the security of the building can be turned over to the Owner. Safety of the construction site and building area and security of the building materials shall remain the responsibility of the contractor through the end of final completion.
- Contractor is not required to provide a bid bond. All contractors performing work on this project must be properly licensed with the City of Urbana and State of Illinois.
- There will be no new mechanical/HVAC or plumbing work in this project.
- Contractor is responsible for the design and construction of the temporary shoring of the building as required to remove and replace the masonry work noted on the documents.
- All existing exits and entrances shall be maintained in use. Access to the building through the front (North) entrance shall be maintained during construction by means of access through the temporary enclosure.
- Contractor shall provide \$500 allowance for light fixtures to be selected by Owner/Architect.

Exhibit E



REVISIONS	BY

**Merritt Building Masonry Restoration**

Renovation  
323 West Chicago  
Urbana, Illinois 61801

**RSA** Residential Studio Architecture LLC  
1000 Myrtlewood Drive, Champaign, Illinois 61822  
PH: 219.244.1111 FAX: 219.244.1115

DRAWN
CHECKED
DATE 9.16.19
SCALE
JOB NO. 1403
SHEET A-5